



City of Fitchburg
Planning/Zoning Department
5520 Lacy Road
Fitchburg, WI 53711
(608-270-4200)

ARCHITECTURAL & DESIGN REVIEW APPLICATION

Applicant/Contact Person: Keri Williams, GreenbergFarrow

Address: 21 S. Evergreen Avenue, Suite 200

Phone Number of Contact Person: 781-929-1651

City, State, Zip Code: Arlington Heights, IL 60005

Email of Contact Person: kwilliams@greenbergfarrow.cc+

Project Address: NWC McKee Rd and Fitchrona Rd

Lot: 1

Subdivision: _____

Project Type: _____ **Multi-Family** ☒ **Commercial** _____ **Industrial** _____ **Other**
☒ **New** _____ **Addition**

Impervious Surface Ratio (ISR): 72% (City Standard: maximum 65% ISR)

All items listed below must be included with the application to be considered complete. If an item is not included with the application, the applicant must provide in writing the basis for not including it. Building and site plans submitted to the Fitchburg Plan Commission for architectural and design review shall contain the following information:

Site Data:

- ☒ 1. Lot or property dimensions.
- ☒ 2. Orientation (to north).
- ☒ 3. Adjacent highways, roads, drive, etc.
- ☒ 4. Existing natural features (rivers, ponds, wetlands).
- ☒ 5. Existing buildings and/or improvements.
- ☒ 6. Existing and proposed site drainage.
- ☒ 7. Utility plans, including main/lateral sizes and existing fire hydrants on site or within 300 feet of the site
- ☒ 8. ISR shall be indicated on all plans.
- ☒ 9. Stormwater management plans and details, including grading plan.
- ☒ 10. Lighting plan in footcandles and light fixture cut sheets.

Building:

- ☒ 1. Building size, configuration and orientation.
- ☒ 2. Distance from lot lines.
- ☒ 3. Distance from other buildings, improvements and natural features.
- ☒ 4. Location of well, septic tank, drainfield, etc. (if applicable)
- ☒ 5. Additional proposed additions or new structures, including trash/recycling enclosure(s).
- ☒ 6. Construction type (wood frame, structural steel, etc.).
- ☒ 7. Foundation type (full basement, slab on grade, etc.).
- ☒ 8. Number of levels.
- ☒ 9. Siding/exterior covering type, color, texture, etc.
- ☒ 10. Roof type (gable, hip, shed, flat, etc.) and pitch.
- ☒ 11. Roofing material type, color, texture, etc.
- ☒ 12. Exterior door and window location, size, type, etc.
- ☒ 13. Fire protection sprinklers or fire alarm systems.

Ingress, Egress, Parking:

- ☒ 1. Location of highway and road access points.
- ☒ 2. Location, size, configuration of drivers and walks.
- ☒ 3. Number, size, location of parking spaces.
- ☒ 4. Location of handicapped parking and accessible building entrances.
- ☒ 5. Bicycle rack(s).

Landscaping:


☒
☒
☒
☒

1. Location, species, size of existing trees, shrubs, and plantings.
2. Location, species, size of proposed plantings.
3. Location and size of all paved, seeded/sodded and gravelled areas.
4. Location of all retaining walls, fences, berms and other landscape features.

***It is highly recommended that an applicant hold at least one neighborhood meeting prior to submitting an ADR application to identify any concerns or issues of surrounding residents.**

The preceding information is considered to be the minimum information for submission, and the City may require additional information for its review. Any interpretations provided by city officials as the result of submitting the attached information are based on the submitted plans, and any plan changes, may affect the interpretations.

It is the responsibility of the owner/applicant to insure compliance with all local and state requirements. The below signed applicant acknowledges the above information and hereby submits the attached information for the City's Architectural and Design Review Process.

Signed:  Date: 07/20/2020
Applicant or Authorized Agent

***** Application shall be accompanied by one (1) sets of full-size plans, two (2) sets no larger than 11"x17", and one (1) pdf document of the complete submittal to planning@fitchburgwi.gov. Applications are due at least 4 weeks prior to the desired Plan Commission Meeting. The time frame assumes a complete set of plans is provided, and if it is not provided the Plan Commission date will be adjusted.**

FOR CITY USE ONLY

Date Received: _____ Plan Commission Date: _____

Comments:



Meijer – FTB, Fitchburg, WI
City of Fitchburg

Architectural & Design Review:

Impervious Surface Ratio (ISR): 72% (City Standard: maximum 65% ISR)

Sec 22-607

All developments and occupancies subject to design review shall be planned and constructed so that surface drainage drains from structures. Impervious surface ratios shall be limited to no more than 65 percent, except where a different level has been set forth through an approved plan, land division approval, other zoning standard, or other zoning approval. The commission, in its judgment, may allow a higher ratio provided it is not contrary to an existing approval, and on-site infiltration, pervious pavement or other measures to mitigate the higher ratio are provided and maintained.

Meijer respectfully requests the Plan Commission to consider the impervious surface ratio for Lot 1 – Meijer equal to 72%. In order to provide minimal parking for the Meijer project, the impervious surface ratio exceeds 65%. Other Meijer Wisconsin stores have over 600 parking spaces, while the proposed Meijer Fitchburg store will have 479 parking spaces. Meijer has tried to reduce on-site impervious surface. The proposed stormwater management system will include underground detention with infiltration, and will be designed and permitted to comply with the City of Fitchburg and Dane County stormwater standards.

Building Requirements responses:

Main Store:

6. Construction Type – Precast concrete wall panels with steel columns and joist.
7. Foundation Type – Slab on grade and conventional spread footings
8. Number of levels – 1 Level
9. Covering Type – The concrete panels are brick imprinted and painted per the color elevations on all four sides. Additionally, we have stone wainscots and pilaster on 3 sides of the building.
10. Roof Type – Flat
11. Roofing Material – TPO – Color: White
12. Exterior Doors & Windows – Front elevation: 2 storefront entry towers with a total of 4 sliding glass entry doors, glass windows running the length of both cart storages, HM door. Back elevation: 4 HM doors & 1 overhead roll up door. Garden center elevation: 3 overhead roll up doors, 2 sliding glass doors, pharmacy drive up window, and 1 HM door. Right side elevation: 3 overhead roll up doors, 2 HM doors. See elevations for size and locations.
13. Fire protection – The building has a sprinkler system and fire alarm system.

Convenience Gas Station:

6. Construction Type – Precast concrete wall panels with steel joist.
7. Foundation Type – Slab on grade and conventional spread footings
8. Number of levels – 1 Level
9. Covering Type – The concrete panels are brick imprinted and painted per the color elevations on all four sides. Additionally, we have stone wainscots and pilaster on 4 sides of the building.
10. Roof Type – Flat
11. Roofing Material – TPO – Color: White
12. Exterior Doors & Windows – Front elevation: Storefront entry with glass entry doors. Back elevation: 2 spandrel glass windows. West side elevation: 3 spandrel glass windows. East side elevations: 2 spandrel glass windows & 1 HM door. See elevations for size and locations.
13. Fire protection – The building has a fire alarm system.

meijer
STORE #FTB

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

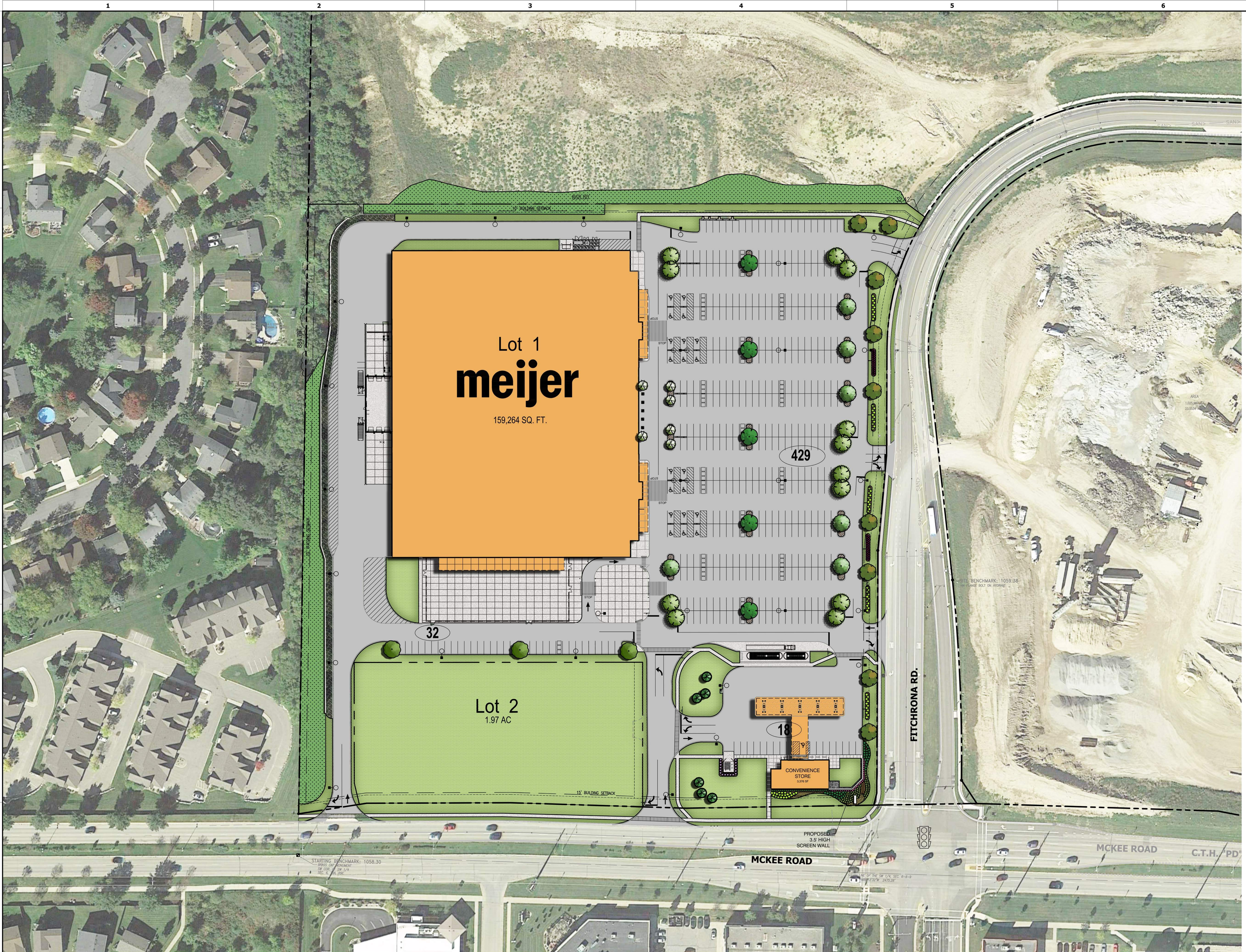
LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
PROJECT MANAGER	DESIGNER
KW	JC

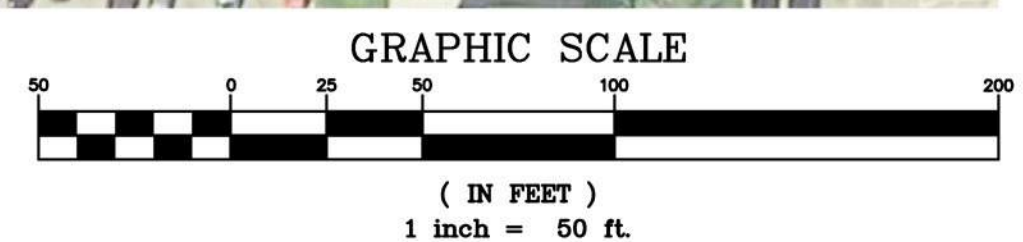
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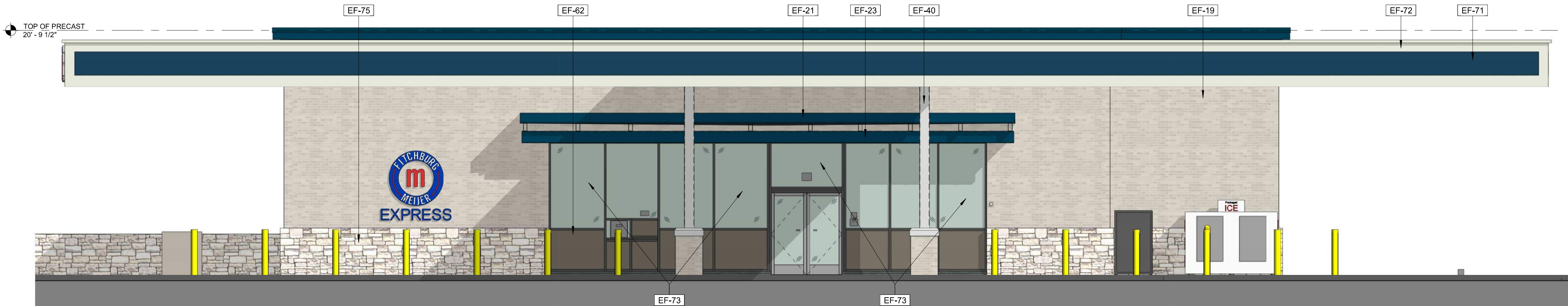
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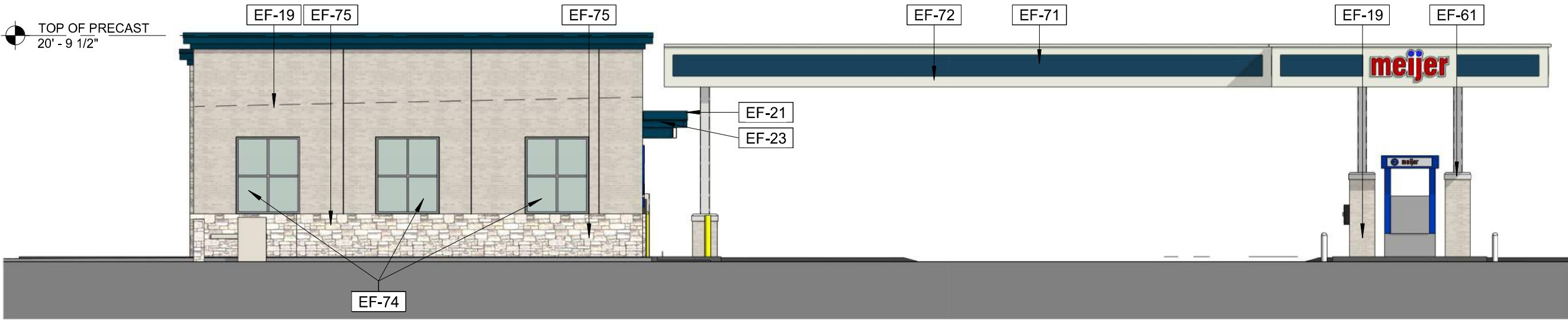


PRELIMINARY PLANS!
(NOT FOR CONSTRUCTION)

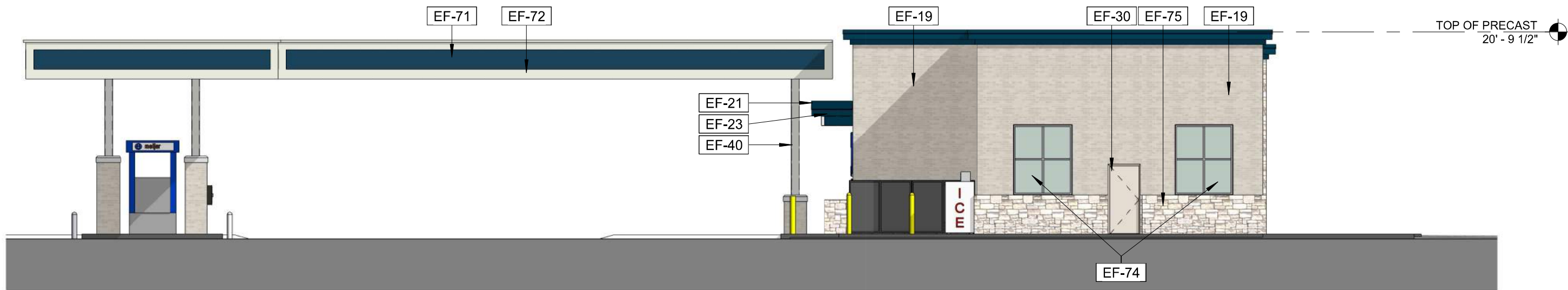




SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION - DUMPSTER ENCLOSURE



NORTH ELEVATION

RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-13	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
EF-15	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 7046 ANONYMOUS
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 7641 COLONNADE GRAY
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	INTERSTATE BLUE
EF-22	SHEET METAL FLASHING AND TRIM - ROOF EDGE FLASHING	PAC-CLAD	INTERSTATE BLUE
EF-23	FIELD PAINTED STEEL - STEEL FRAMING AND COLUMNS, HANGER ASSEMBLIES, AND METAL DECK	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
EF-30	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7641 COLONNADE GRAY
EF-40	FUEL ISLAND CANOPY COLUMNS	ALPOLIC	COW WHITE
EF-61	CONCRETE CAP		GRAY
EF-62	INSULATED PANELS	ALPOLIC	CAG GREY
EF-70	WOOD FENCE	PPG PROLUXE	RUBBOL SOLID STAIN - BEACHWOOD
EF-71	FUEL ISLAND CANOPY GRAPHIC FILM	3M	SHADOW BLUE 177
EF-72	FUEL ISLAND CANOPY	ALPOLIC	COW WHITE
EF-73	TRANSPARENT INSULATED GLASS	--	CLEARANODIZED
EF-74	FROSTED GLASS	--	CLEARANODIZED
EF-75	LIMESTONE	ELDORADO STONE	GRAND BANKS



C-STORE

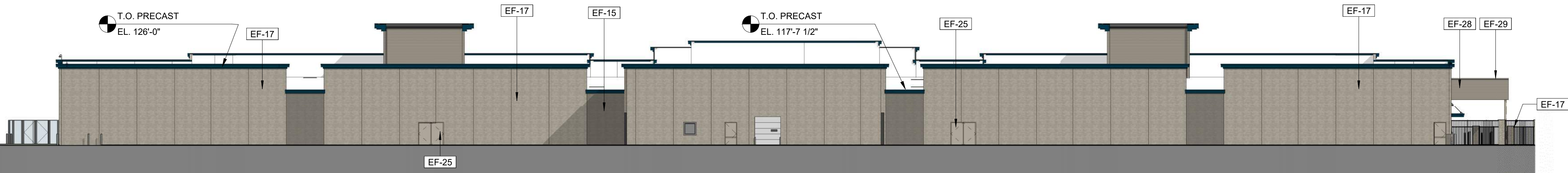
(NWC) MCKEE ROAD & FITCHRONA ROAD
FITCHBURG, WI

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. BECAUSE OF INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT COLOR MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OF THE MATERIAL SAMPLES PROVIDED.

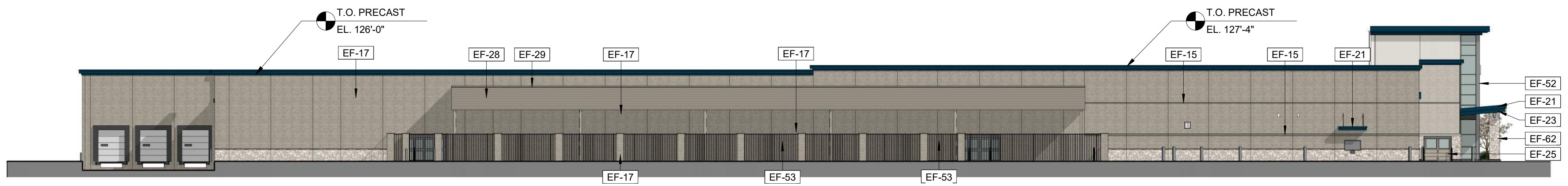




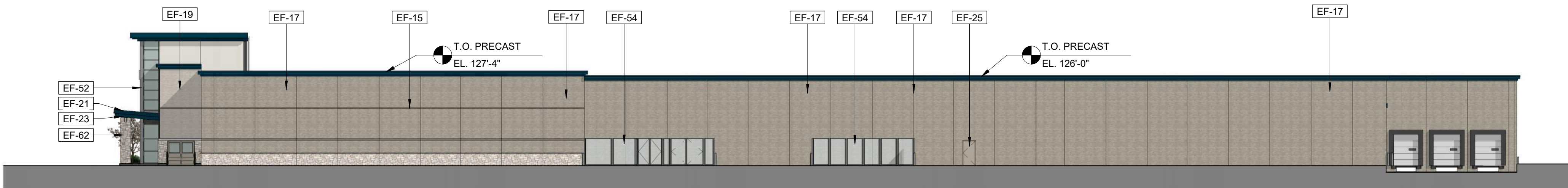
ELEVATION - FRONT



ELEVATION - BACK



ELEVATION-GARDEN CENTER



ELEVATION - RIGHT SIDE

RENDERING FINISH LEGEND			
CODE	FINISH	PRODUCT	COLOR
EF-5	ENTRANCE AND STOREFRONT FRAMES	--	CLEAR ANODIZED ALUMINUM
EF-8	SECTIONAL OVERHEAD DOORS	--	WHITE
EF-15	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 7046 ANONYMOUS
EF-17	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 7640 FAWN BRINDLE
EF-18	INSULATED PRECAST CONCRETE WALL - SMOOTH FACE FINISH	SHERWIN WILLIAMS	SW 7641 COLONNADE GRAY
EF-19	INSULATED PRECAST CONCRETE WALL - BRICK IMPRINTED / USE SHERWIN WILLIAMS SW 7641 CRUSHED ICE FOR MORTAR JOINT	SHERWIN WILLIAMS	SW 7641 COLONNADE GRAY
EF-20	CANOPY FASCIA PANEL AND SOFFIT	PAC-CLAD	INTERSTATE BLUE
EF-21	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT CANOPY	PAC-CLAD	INTERSTATE BLUE
EF-22	SHEET METAL FLASHING AND TRIM - EDGE FLASHING AT PARAPET	PAC-CLAD	INTERSTATE BLUE
EF-23	FIELD PAINTED STEEL - STEEL FRAMING AND COLUMNS, HANGER ASSEMBLIES, AND METAL DECK	SHERWIN WILLIAMS	SW 6510 LOYAL BLUE
EF-24	FIELD PAINTED STEEL - STEEL FRAMING AND COLUMNS, GUARDRAIL, AND JIB HOIST	SHERWIN WILLIAMS	SW 7640 FAWN BRINDLE
EF-25	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7640 FAWN BRINDLE
EF-26	FIELD PAINTED STEEL - HOLLOW METAL DOORS & FRAMES	SHERWIN WILLIAMS	SW 7641 COLONNADE GRAY
EF-28	METAL PANELS	PAC-CLAD	GRANITE
EF-29	SHEET METAL FLASHING AND TRIM	PAC-CLAD	GRANITE
EF-52	GALVANIZED STEEL FINISH	--	GALVANIZED
EF-53	DECORATIVE BLACK FENCE	--	BLACK
EF-54	CHAIN LINK FENCE WITH SLATS	--	GREY SLATS TO MATH BUILDING COLOR
EF-60	ALUMINUM CLAD SPANDREL PANELS	--	CLEAR ANODIZED
EF-61	CONCRETE CAP	--	GRAY
EF-62	LIMESTONE	ELDORADO STONE	GRAND BANKS



1.5R SUPERCENTER

(NWC) MCKEE ROAD & FITCHRONA ROAD
FITCHBURG, WI

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NW Corner Fitchrona & McKee with Wall

(NWC) MCKEE ROAD & FITCHRONA ROAD
FITCHBURG, WI

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	1	2	3	4	5	6																	
	GENERAL NOTES:	SITE GRADING AND PAVING NOTES:	STORM SEWER NOTES:	SANITARY SEWER NOTES:	WATER MAIN AND WATER SERVICE NOTES:	WATER MAIN AND WATER SERVICE NOTES: (CONT.)																	
E	<div><div>1. ALL WORK INDICATED ON THE PLANS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:</div><div>1.1. STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", AS ADOPTED JANUARY 1, 2013 AND ALL SUBSEQUENT REVISIONS THERETO.</div><div>1.2. "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO.</div><div>1.3. BUILDING CODES AND ORDINANCES OF THE CITY OF FITCHBURG, WI.</div></div>	<div><div>1. ALL SITE WORK, GRADING, AND PAVING OPERATIONS WITHIN THE LIMITS OF THE PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", AS ADOPTED JANUARY 1, 2013 AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (CITY OF FITCHBURG), IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</div><div>2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF PART TWO (2) OF THE "WISDOT STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.</div><div>3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 4" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.</div><div>4. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A SOLS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOLS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.</div><div>5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOLS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE OWNER'S GEOCHEMICAL ENGINEER.</div><div>6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.</div><div>7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.</div><div>8. REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.</div><div>9. ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.</div><div>10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVEMENT SECTION (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS INDICATED ON THE PLANS.</div><div>11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.</div><div>12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.</div><div>13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.</div><div>14. SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.</div><div>15. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.</div><div>16. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.</div><div>17. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE "WISDOT STANDARD SPECIFICATIONS" AND SHALL BE FURNISHED AND INSTALLED WHENEVER CONSTRUCTION ENCLOSEACHES WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.</div></div>	<div><div>1. ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (CITY OF FITCHBURG), IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</div><div>2. STORM SEWER STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CHAPTERS 3.5.0 AND 3.6.0 OF THE "STANDARD SPECIFICATIONS" AND THE NOTES AND DETAILS SHOWN ON THE PLANS.</div><div>3. STORM SEWER PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PART III AND PART VIII OF THE "STANDARD SPECIFICATIONS."</div><div>4. STORM SEWER PIPE AND END SECTION MATERIAL SHALL BE REINFORCED OR NON-REINFORCED CONCRETE SEWER PIPE AS SHOWN ON THE PLANS CONFORMING TO THE FOLLOWING:</div><div>4.1. REINFORCED CONCRETE SEWER PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76. JOINTS SHALL BE CEMENT MORTARED TYPE JOINTS, AS PER SECTION 3.2.16 OF THE "STANDARD SPECIFICATIONS".</div><div>4.2. NONREINFORCED CONCRETE SEWER PIPE (NRCP) SHALL MEET THE REQUIREMENTS OF ASTM C-507. JOINTS SHALL BE CEMENT MORTARED TYPE JOINTS, AS PER SECTION 3.2.16 OF THE "STANDARD SPECIFICATIONS".</div><div>4.3. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212.</div><div>6. ALL JOINTS, FITTINGS, AND CONNECTIONS SHALL BE WATER TIGHT. SOIL TIGHT IS NOT ACCEPTABLE.</div><div>7. PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE PER ASTM D-3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.</div><div>8. STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTERS 3.1.0 AND 3.2.0 OF THE "STANDARD SPECIFICATIONS."</div><div>8.1. STORM SEWER BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS", AS NOTED BELOW, UNLESS OTHERWISE SPECIFIED ON THE PLANS, CLASS "C" BEDDING SHALL BE USED.</div><div>8.1.1. CLASS "C" BEDDING - FILE NO. 3 AND SECTION 3.2.6(A).</div><div>8.1.2. BEDDING MATERIAL MAY BE SUBSTITUTED FOR COVER MATERIAL IN SEWER INSTALLATION. COVER MATERIAL FOR STORM SEWER 36 INCHES AND UNDER SHALL BE OF THE SAME MATERIAL AS THE BEDDING.</div><div>9. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY, PER ASTM D-698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TEN (10) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS. GRANULAR BACKFILL MATERIALS SHALL CONFORM TO SECTION 8.4.3.4 OF THE "STANDARD SPECIFICATIONS." EXCAVATED MATERIAL CONFORMING TO SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS" MAY BE USED AS BACKFILL IN OTHER AREAS.</div><div>10. REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS. ADJUSTING RING HEIGHTS SHALL BE A MINIMUM OF SIX (6) INCHES AND A MAXIMUM OF FIFTEEN (15) INCHES IN OVERALL HEIGHT. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</div><div>11. FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR EXTENDED TO OUTLET INTO A PROPOSED DRAINAGE WAY. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL TO THE ORIGINAL LINE AND PUT IN ACCEPTABLE OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE OWNER AND/OR ENGINEER UPON COMPLETION OF THE PROJECT AND ACCURATELY SHOWN ON THE RECORD DRAWINGS.</div><div>12. MANHOLE CHIMNEY RINGS AND FRAMES SHALL BE SET ON A BED OF MOTOR, 5/8 INCH MINIMUM THICKNESS, EXTENDING THE FULL WIDTH OF AND CONTINUOUSLY AROUND THE TOP OF THE CHIMNEY. THE INNER AND OUTER FACES OF THE MORTAR JOINT SHALL BE TROWEL FINISHED.</div><div>12.1. THE ENTIRE OUTSIDE SURFACE OF THE MANHOLE CHIMNEY, INCLUDING ALL ADJUSTING RINGS AND OVERLAPPING BOTH THE MANHOLE CONE OR FLAT-TOP SLAB (A MINIMUM OF 2 INCHES) AND THE MANHOLE FRAME, SHALL BE COVERED WITH MORTAR</div><div>13. THE ENTIRE OUTSIDE SURFACE OF THE MANHOLE CHIMNEY, INCLUDING ALL ADJUSTING RINGS AND OVERLAPPING BOTH THE MANHOLE CONE OR FLAT-TOP SLAB (A MINIMUM OF 2 INCHES) AND THE MANHOLE FRAME, SHALL BE COVERED WITH MORTAR.</div><div>14. THE DEPTHS OF CATCH BASINS SHOWN ON THE PLANS ARE MEASURED FROM THE INVERT OF THE LEAD TO THE FLOW LINE OF THE GRATE AND DO NOT INCLUDE THE SUMP DEPTH. CATCH BASIN GRATES SHALL BE PLACED TO MATCH THE DITCH OR GUTTER GRADE OR AT THE ELEVATION INDICATED ON THE PLANS. CATCH BASIN FRAME AND GRATE SHALL BE ESW 7045-M1 OR EQUAL FOR ROLLED CURB AND GUTTER, ESWJ 7045-M1 OR EQUAL FOR STRAIGHT CURB AND GUTTER, AND ESWJ 6508 OR EQUAL FOR GRASS AREAS. THE STORM SEWER OUTLETS SHALL BE LINED WITH GEOTEXTILE FABRIC AND COVERED WITH HEAVY RIP-RAP 24" DEEP, WISDOT SECTION 606.21</div><div>14.1. GEOTEXTILE FABRIC SHALL BE NON-WOVEN NEEDLE PUNCHED POLYESTER, POLYPROPYLENE OR APPROVED MATERIAL AND SHALL MEET THE FOLLOWING MINIMUM REQUIREMENTS:</div><div><table><thead><tr><th>TEST</th><th>REQUIREMENTS (MIN.)</th><th>UNEXPECTED</th></tr></thead><tbody><tr><td>GRAB TENSILE STRENGTH (ASTM D-1682) (LBS)</td><td>200</td><td></td></tr><tr><td>PUNCTURE STRENGTH (ASTM -751)(LBS)</td><td>80</td><td></td></tr><tr><td>MULLEN BURST STRENGTH (ASTM D-3786) (PSI)</td><td>300</td><td></td></tr><tr><td>ELONGATION AT FAILURE (ASTM D-1682) (%) (ANY DIRECTION)</td><td>10</td><td></td></tr><tr><td>ULTRA VIOLET RADIATION STABILITY (ASTM G-26/D-1682) (%)</td><td>90</td><td></td></tr></tbody></table></div><div>14.2. THE GEOTEXTILE FABRIC SHALL BE INSECT, RODENT, MILDWE, AND ROT RESISTANT. THE GEOTEXTILE FABRIC SHALL BE PLACED ON THE SPECIFIED AREA AND COVERED WITH THE CRUSHED Limestone. ALL STONES, ROOTS, STICKS, OR OTHER FOREIGN MATERIAL WHICH WOULD INTERFERE WITH THE FABRIC BEARING COMPLETELY OVER THE SOIL SHALL BE REMOVED PRIOR TO PLACING FABRIC. THE FABRIC SHALL EXTEND BEYOND THE CRUSHED STONE LIMITS AND SHALL HAVE ITS LATERAL EDGES COVERED WITH SOIL A MINIMUM DEPTH OF 6 INCHES.</div></div>	TEST	REQUIREMENTS (MIN.)	UNEXPECTED	GRAB TENSILE STRENGTH (ASTM D-1682) (LBS)	200		PUNCTURE STRENGTH (ASTM -751)(LBS)	80		MULLEN BURST STRENGTH (ASTM D-3786) (PSI)	300		ELONGATION AT FAILURE (ASTM D-1682) (%) (ANY DIRECTION)	10		ULTRA VIOLET RADIATION STABILITY (ASTM G-26/D-1682) (%)	90		<div><div>1. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (CITY OF FITCHBURG), IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</div><div>2. SANITARY SEWER STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CHAPTERS 3.5.0 AND NOS. 12, 12A, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND THE NOTES AND DETAILS SHOWN ON THE PLANS.</div><div>3. SANITARY SEWER PIPE HALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PART III AND PART VIII OF THE "STANDARD SPECIFICATIONS".</div><div>4. SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC), REINFORCED CONCRETE, DUCTILE IRON, PRESTRESSED CONCRETE PRESSURE PIPE OR NON-REINFORCED CONCRETE PIPE, AS SHOWN ON THE PLANS, AND CONFORMING TO THE FOLLOWING:</div><div>4.1. POLYVINYL CHLORIDE (PVC) SEWER PIPE, 4 INCH THROUGH 15 INCH DIAMETER, MEETING THE REQUIREMENTS OF ASTM D-3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D-3212.</div><div>4.2. POLYVINYL CHLORIDE (PVC) LARGE DIAMETER SOLID WALL SEWER PIPE, 18 INCH THROUGH 27 INCH DIAMETER, MEETING THE REQUIREMENTS OF ASTM F-679, WITH A MINIMUM PIPE STIFFNESS OF 46 PSI AND HAVING INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS MEETING THE REQUIREMENTS OF ASTM D-3212. LATERAL PIPE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF PARAGRAPH 1 ABOVE.</div><div>4.3. REINFORCED CONCRETE SANITARY SEWER PIPE (RCP) MEETING THE REQUIREMENTS OF ASTM C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443.</div><div>4.4. DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-151 (ANSI 21.51), CLASS 52 EQUAL TO CLOW SUPER BELL-TITE GASKET JOINT PIPE, CEMENT MORTAR LINED WITH INTERNAL AND EXTERNAL BITUMINOUS COATING AND FURNISHED WITH EITHER PUSH-ON RUBBER GASKET JOINTS.</div><div>a. DUCTILE IRON PIPE SHALL BE WRAPPED WITH POLYETHYLENE WRAP MEETING THE REQUIREMENTS OF AWWA STANDARD C-105 (ANSI A21.5) USING CLASS C (BLACK) POLYETHYLENE MATERIAL AND SHALL BE INSTALLED AS SPECIFIED IN CHAPTER 4.4.4. OF THE "STANDARD SPECIFICATIONS".</div><div>5. SANITARY SEWER CONSTRUCTION SHALL COMMENCE AT THE EXISTING MANHOLE(S) AND/OR CONNECTION POINT(S) INDICATED ON THE PLANS.</div><div>5.1. A WATERTIGHT PLUG SHALL BE INSTALLED AND LEFT IN PLACE AT THE POINT OF COMMENCEMENT UNTIL THE REMAINDER OF THE PROPOSED SEWERS HAVE BEEN CONSTRUCTED, PROPERLY TESTED AND DEEMED READY FOR FINAL ACCEPTANCE.</div><div>6. SANITARY SEWER BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS", AS SPECIFIED AND/OR MODIFIED BELOW:</div><div>6.1. PVC PIPE - SECTIONS 3.2.6(B) AND 3.2.6(I), USE CRUSHED CHIPS AND CLASS "B" BEDDING CONFORMING TO THE STANDARD SPECIFICATIONS.</div><div>6.2. REINFORCED CONCRETE, DUCTILE IRON, PRESTRESSED CONCRETE AND NON-REINFORCED CONCRETE PIPE -CLASS "C" BEDDING CONFORMING TO SECTION 3.2.6(A) AND FILE NO. 3, CLASS "B" BEDDING CONFORMING TO SECTION 3.2.6(B) AND FILE NO. 4 OF CLASS "A" BEDDING CONFORMING TO SECTION 3.2.6(C) AND FILE NO. 5 (CONCRETE CRADLE) OR SECTION 3.2.6(D) AND FILE NO. 6 (CONCRETE CAP). UNLESS SPECIFIED OTHERWISE ON THE PLANS, CLASS "C" BEDDING MAY BE USED.</div><div>6.3. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY, PER ASTM D-698, OVER ALL SANITARY SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TEN (10) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS. GRANULAR BACKFILL MATERIALS SHALL CONFORM TO SECTION 8.4.3.4 OF THE "STANDARD SPECIFICATIONS." EXCAVATED MATERIAL CONFORMING TO SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS" MAY BE USED AS BACKFILL IN OTHER AREAS.</div><div>7. THE CONTRACTOR IS REQUIRED TO RECORD THE LOCATION OF ALL SEWERS AND FURNISH THE INFORMATION TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE IN AUTOCAD FORMAT. THE CONTRACTOR SHALL LOCATE ALL SEWERS BY MEASUREMENTS TO PROPERTY CORNERS OR OTHER PERMANENT SITE FEATURE AND SHALL FURNISH A COPY OF SUCH LOCATIONS TO THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UPON PROJECT COMPLETION. THIS INFORMATION SHALL ALSO INCLUDE THE LOCATION OF EACH SEWER.</div><div>a. BOX SHALL BE VALVCO TRACER WIRE BOX</div><div>d. EXTENSION SHALL BE 2" SCHEDULE 40 PVC PIPE</div><div>8. A FLEXIBLE TYPE JOINT SHALL BE FURNISHED AT POINTS OF ENTRY INTO ANEXISTING FROM MANHOLE STRUCTURES AND SHALL CONFORM TO ASTM C-923 AND ASTM C-443. THIS FLEXIBLE JOINT MAY CONSIST OF A SLEEVE OF HIGH QUALITY SYNTHETIC RUBBER WITH A SUBSTANTIAL SEPRATED FLANGE WHICH IS CAST DIRECTLY INTO THE WALL OF THE MANHOLE BASE TO FORM A WATERTIGHT SEAL AND PROTRUDES OUTSIDE OF THE MANHOLE WALL TO CONNECT WITH THE PIPE ENTERING/EXITING THE MANHOLE. WHEN THIS TYPE OF FLEXIBLE JOINT IS USED, THE SLEEVE SHALL SLIP OVER THE END OF THE PIPE ADJACENT TO THE MANHOLE BASE AND SHALL BE SECURED BY MEANS OF A STAINLESS STEEL STRAP CLAMP EQUIPPED WITH A DRAW BOLT AND NUT.</div><div>9. MANHOLES SHALL BE PRECAST 48 INCH INSIDE DIAMETER WITH ECCENTRIC CONES.</div><div>9.1. A MINIMUM OF 6 INCHES TO A MAXIMUM OF 15 INCHES OF ADJUSTING RINGS SHALL BE FURNISHED FOR EACH MANHOLE. PROVIDE TYPE III MORTAR JOINTS BETWEEN FRAME AND CHIMNEY RINGS. EXTENSIONS TO INTERNAL SEALS WILL BE REQUIRED IF INITIAL SEAL WILL NOT COVER FROM FRAME TO CONE.</div><div>9.2. MANHOLE RIM GRADES SHALL BE ADJUSTED TO MATCH THE EXISTING AND/OR PROPOSED FINAL PAVEMENT GRADES AFTER THE CURB AND GUTTER IS COMPLETELY MANHOLE SHALL BE RAMPED WITHIN THE PLANTED AREA OF BENCH COURSE ASPHALT. EACH RAMP SHALL BE A MINIMUM 30' DIAMETER, AND SHALL BE INSTALLED 3/4" ABOVE THE MANHOLE FRAME. (SEE DETAIL).</div><div>9.3. BENCHES SHALL BE POURED TO SPRINGLINE WITH BENCH SLOPE ACCORDING TO FILE #112-, UNLESS ENGINEER REQUESTS BENCHES BE POURED TO THE TOP OF PIPE.</div><div>10. AFTER FINAL ADJUSTMENTS HAVE BEEN MADE, ALL JOINTS IN PRECAST STRUCTURES SHALL BE MORTARED. THE MORTAR SHALL BE COMPOSED OF ONE (1) PART CEMENT TO THREE (3) PARTS SAND, BY VOLUME, BASED ON DRY MATERIALS, AND SHALL BE THOROUGHLY WETTED BEFORE LAYING.</div><div>11. MANHOLE PIPE CONNECTIONS</div><div>11.1. CONNECTIONS OF PIPES TO MANHOLES SHALL BE MADE IN ACCORDANCE WITH SECTION 3.5.7. OF THE "STANDARD SPECIFICATIONS". ALL FIELD TAPPED HOLES FOR CONNECTING SEWER PIPE TO MANHOLES SHALL BE MADE BY CORING.</div><div>11.2. FLEXIBLE PIPE CONNECTIONS SHALL BE MADE WITH FLEXIBLE WATERTIGHT CONNECTORS, KOR-N-SEAL, LINK SEAL OR EQUAL. ALL CLAMPS, BOLTS, ETC. OF PIPE TO MANHOLE SEALS SHALL BE STAINLESS STEEL. IF LINK SEAL CONNECTORS ARE USED, THE BOLT HEADS SHALL BE PLACED ON THE INSIDE OF MANHOLES.</div><div>12. UPON COMPLETION OF THE SANITARY SEWER CONSTRUCTION, INCLUDING THE SERVICE LINES, ALL SEWERS SHALL BE TESTED IN ACCORDANCE WITH PART III, CHAPTER 3.7.0 OF THE "STANDARD SPECIFICATIONS" AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY OR AUTHORIZED REPRESENTATIVE.</div><div>13. MANHOLE FRAMES AND COVERS SHALL BE NEENAH P-1661 (NON-ROCKING), CONCEALED PICK HOLE AND NO VENT HOLES. MANHOLE FRAMES SHALL BE CENTERED ON THE TOP OF THE CONE.</div><div>14. MANHOLE PIPE CONNECTIONS</div><div>14.1. CONNECTIONS OF PIPES TO MANHOLES SHALL BE MADE IN ACCORDANCE WITH SECTION 3.5.7. OF THE "STANDARD SPECIFICATIONS". ALL FIELD TAPPED HOLES FOR CONNECTING SEWER PIPE TO MANHOLES SHALL BE MADE BY CORING.</div><div>14.2. FLEXIBLE PIPE CONNECTIONS SHALL BE MADE WITH FLEXIBLE WATERTIGHT CONNECTORS, KOR-N-SEAL, LINK SEAL OR EQUAL. ALL CLAMPS, BOLTS, ETC. OF PIPE TO MANHOLE SEALS SHALL BE STAINLESS STEEL. IF LINK SEAL CONNECTORS ARE USED, THE BOLT HEADS SHALL BE PLACED ON THE INSIDE OF MANHOLES.</div></div>	<div><div>1. ALL WATER MAIN CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (CITY OF FITCHBURG), IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</div><div>2. WATER MAIN PIPE AND STRUCTURES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PART IV OF THE "STANDARD SPECIFICATIONS" AND THE NOTES AND DETAILS SHOWN ON THE PLANS.</div><div>3. WATER MAIN PIPE AND FITTINGS SHALL BE MEETING THE REQUIREMENTS OF CITY OF FITCHBURG</div><div>3.1. ALL WATER MAIN TO BE AWWA C900 D1818 PVC BLUE BRUTE. ALL WATER MAIN SHALL HAVE PUSH FITTINGS WITH THRUST BLOCKING, OR MECHANICAL JOINTS.</div><div>4. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATER MAIN PIPE SHALL BE LAID WITH A MINIMUM COVER OF SIX AND A HALF (6.5) FEET FROM THE PROPOSED FINISH GRADE INDICATED ON THE PLANS OR TO THE SPECIFIC TOP OF PIPE ELEVATION INDICATED ON THE PLANS FOR THE WATER MAIN. NO BENCHES ARE ALLOWED OVER WATER MAINS EXCLUSIVELY FOR THE PURPOSE OF OBTAINING ADEQUATE GROUND COVER.</div><div>4.1. WATER MAIN PIPE SHALL BE INSULATED IN ACCORDANCE WITH CHAPTER 4.17.0 OF THE "STANDARD SPECIFICATIONS" WHEREVER THE DEPTH OF COVER IS LESS THAN SIX (6) FEET.</div><div>5. WATER MAIN TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTERS 4.2.0 AND 4.3.0 OF THE "STANDARD SPECIFICATIONS".</div><div>5.1. WATER MAIN MUST BE PLACED ON PROPERLY COMPACTED BEDDING SAND IN ACCORDANCE WITH SECTION 4.3.3 OF THE "STANDARD SPECIFICATIONS". PIPE BEDDING MATERIAL SHALL CONFORM TO SECTION 8.4.3.2 OF THE "STANDARD SPECIFICATIONS" AND SHALL BE A MINIMUM OF FOUR (4) INCHES THICK UNDER THE BARREL OF THE PIPE.</div><div>5.2. CRUSHED CONCRETE BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY, PER ASTM D-698, OVER ALL WATER MAINS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TEN (10) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS. GRANULAR BACKFILL MATERIALS SHALL CONFORM TO SECTION 8.4.3.4 OF THE "STANDARD SPECIFICATIONS." EXCAVATED MATERIAL CONFORMING TO SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS" MAY BE USED AS BACKFILL IN OTHER AREAS.</div><div>6. A WATERTIGHT PLUG SHALL BE PLACED IN THE END OF THE WATER MAIN PIPE AT THE END OF EACH CONSTRUCTION DAY.</div><div>7. UPON COMPLETION OF THE WATER MAIN CONSTRUCTION, ALL WATER MAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING MINIMUM STANDARDS:</div><div>7.1. HYDROSTATIC PRESSURE AND LEAKAGE TESTS IN ACCORDANCE WITH CHAPTER 4.15.0 OF THE "STANDARD SPECIFICATIONS" AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.</div><div>7.2. DISINFECTION AND BACTERIOLOGICAL TEST IN ACCORDANCE WITH CHAPTER 4.16.0 OF THE "STANDARD SPECIFICATIONS" AND THE METHODS STATED IN AWWA STANDARD C651 AND SHALL BE WITNESSED BY THE LOCAL GOVERNING AUTHORITY.</div><div>8. WATER SERVICE PIPING AND APPURTENANCES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CHAPTER 5.5.0 OF THE "STANDARD SPECIFICATIONS."</div><div>8.1. WARNING TAPE:</div><div>a. TERRA TAPE EXTRA STRENGTH 540" BY REED</div><div>b. INDUSTRIES, INC. OR "SHIELDTEC" BY EMPIRE LEVEL MANUFACTURING CORPORATION.</div><div>c. TAPE SHALL READ: "CAUTION - WATER LINE BURIED BELOW".</div><div>d. COLOR: BLUE.</div><div>e. WIDTH: 3 INCHES.</div><div>f. PLACE ABOVE CENTERLINE OF PIPE AND 12" BELOW FINISHED GRADE.</div><div>8.2 DETECTOR WIRE:</div><div>a. SHALL BE COPPER CLAD STEEL, 14 GAGE, 30 VOLT, MAGNETIC DETECTABLE CONDUCTOR WIRE WITH A BRIGHTLY COVERED HOPE COVERING, BLUE FOR WATER, COPPER/HEAD INDUSTRIES #114 CCS HIGH STRENGTH SOF DRAIN 250# OR EQUAL</div><div>b. WIRE SPICES SHALL BE COPPERHEAD INDUSTRIES "LOCKABLE SNAKEBITE"</div><div>c. BOX SHALL BE VALVCO TRACER WIRE BOX</div><div>d. EXTENSION SHALL BE 2" SCHEDULE 40 PVC PIPE</div><div>9. WATER SERVICE LINES 2" IN DIAMETER OR SMALLER SHALL BE POLYETHYLENE PIPE.</div><div>10. WATER SERVICE FITTINGS AND APPURTENANCES INCLUDING CORPORATION STOPS, CURB BOXES AND SERVICE BOXES SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PART VIII OF THE "STANDARD SPECIFICATIONS".</div><div>10.1. CORPORATION STOPS SHALL BE MUELLER B2508, AY McDONALD 470180, OR FORD FB1000-4, FB1000-4S, FB1000-5, FB1000-6. CORPORATION STOPS LARGER THAN ONE (1) INCH SHALL BE SMITH BLAIR 317 OR APPROVED EQUAL. A SERVICE SADDLE SHALL BE INSTALLED ON ANY TAP LARGER THEN ONE (1) INCH.</div><div>10.2. CURB BOXES SHALL BE MUELLER H-10300 (MINNEAPOLIS PATTERN), AY McDONALD 5614 OR 5615, OR APPROVED EQUAL WITH EXTENDED LENGTH OF SIX AND ONE-HALF (6-1/2) FEET.</div><div>10.3. SERVICE BOXES SHALL BE OF SUFFICIENT LENGTH TO PERMIT THE TOP TO BE INSTALLED FLUSH WITH THE FINISHED GRADE. EACH SERVICE BOX SHALL BE PROVIDED WITH A CAP WITH THE WORD "WATER" CAST IN THE TOP.</div><div>11. VALVES, VALVE BOXES OR VALVITS, AND FIRE HYDRANTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND PART VII OF THE "STANDARD SPECIFICATIONS". ALL VALVES, HYDRANTS, AND SPECIAL FITTINGS SHALL BE SUPPORTED IN A VERTICAL POSITION ON A SOLID CONCRETE BLOCK OR CONCRETE SUPPORT.</div><div>11.1. GATE VALVES SHALL BE RESILIENT WEDGE CONFORMING TO AMERICAN WATER WORKS ASSOCIATION (AWWA) C515 AND SHALL BE BRONZED TRIM OPEN COUNTER-CLOCKWISE, WITH SQUARE NUT. GATE VALVES SHALL BE USED FOR VALVE SIZES OF FOUR (4) INCH TO TEN (36) INCH. BUTTERFLY VALVES SHALL BE USED FOR VALVES TWELVE (36) INCHES AND LARGER.</div><div>11.2. VALVE BOXES SHALL BE TYLER 6860 WITH GATE VALVE ADAPTOR, MANUFACTURED BY ADAPTOR, INC. OR APPROVED EQUAL.</div><div>11.3. VALVE VALVITS SHALL HAVE A MINIMUM DIAMETER OF FOUR (4) FEET BELOW THE PRECAST CONCRETE CONE SECTION AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CHAPTER 4.11.0 OF THE "STANDARD SPECIFICATIONS". VALVITS SHALL BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE SECTIONS CONFORMING TO SECTION 3.5.4 OF THE "STANDARD SPECIFICATIONS" AND THE DETAILS SPECIED ON THE PLANS. ALL VALVE VALVITS SHALL BE WATER PROOF.</div><div>11.4. FIRE HYDRANTS SHALL BE WATEROUS PACER WB-67 OR CLOW MEDALLION AND SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 4.8.5 OF THE "STANDARD SPECIFICATIONS". HYDRANTS SHALL BE FULL HEIGHT HYDRANTS AND FURNISHED FOR THE BURY DEPTH OF 6'-6". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE SHALL BE FROM 18 TO 24 INCHES.</div><div>11.5. GATE VALVES (HYDRANTS ONLY).</div><div>a. GATE VALVES SHALL MEET THE REQUIREMENTS OF AWWA C-515.</div><div>b. SWS 8.27.0.</div><div>c. GATE VALVES SHALL CONSIST OF CAST IRON BODY, MECHANICAL JOINTS, O-RING STEM SEALS AND COUNTER CLOCKWISE OPENING DESIGN.</div><div>d. VALVES SHALL BE MUELLER A-2360-20, CLOW F8100 OR M&H 4087-01, EQUIPPED WITH APPROPRIATE VALVE BOX ADAPTER.</div><div>12. VALVES WILL HAVE NON-RIISING STEM.</div><div>12.1. VALVES WILL HAVE EPOXY INTERIOR AND EXTERIOR COATING PER ANSI/AWWA C550</div><div>13. PRESSURE CONNECTIONS TO THE EXISTING WATER MAINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SPECIFICATIONS AND SHALL INCLUDE THE INSTALLATION OF A FULL STAINLESS STEEL TAPPING SADDLE.</div><div>14. TEMPORARY CONNECTIONS FOR CONSTRUCTION PURPOSES TO NEWLY INSTALLED OR EXISTING WATER MAINS SHALL BE MADE AND METERED IN ACCORDANCE WITH LOCAL REQUIREMENTS.</div><div>14.2. WATER SHALL NOT BE TAKEN FROM ANY PUBLIC HYDRANT WITHOUT A PERMIT FROM THE CITY OF FITCHBURG WATER AND WASTEWATER UTILITY.</div><div>14.3. REQUIRED RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS. ADJUSTING RING HEIGHTS SHALL BE A MINIMUM OF SIX (6) INCHES AND A MAXIMUM OF FIFTEEN (15) INCHES IN OVERALL HEIGHT. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</div><div>15. RESTRAINED JOINTS</div><div>15.1. MEGALUG AND/OR THE ALL DEAD ENDS SO CONNECTIONS CAN BE MADE IN THE FUTURE WITHOUT SHUTTING MAINS OFF.</div><div>15.2. EBAA IRON MEGALUG, STAR PIPE PRODUCTS ALLGRIP 3600 OR WJ FIELD LOK GLAND AND GASKET. ALL DEAD ENDS, BENDS, TEES, CAPS AND PLUGS SHALL BE RESTRAINED. CLOW SUPER- LOCK JOINT PIPE SHALL BE USED UNDER WATER CROSSINGS.</div><div>16. SERVICES SHALL BE INSULATED WHERE NOTED ON PLANS AND WHEREVER THE DEPTH OF COVER IS LESS THAN 5-1/2 FEET. INSULATION IS ALSO REQUIRED WHEN WATER SERVICES ARE INSTALLED BENEATH STORM SEWER PIPES.</div></div>
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GRAB TENSILE STRENGTH (ASTM D-1682) (LBS)	200																						
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ULTRA VIOLET RADIATION STABILITY (ASTM G-26/D-1682) (%)	90																						
D	<div><div>9. ALL EASEMENTS FOR EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS PREPARED BY THE SURVEYOR ACCORDING TO INFORMATION AVAILABLE FROM PUBLIC RECORDS OR VISIBLE FIELD MARKINGS. THE CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER SO THE CONFLICT MAY BE RESOLVED.</div><div>10. ALL UTILITY CONNECTIONS TO EXISTING LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS AND TO THE SATISFACTION OF THE APPLICABLE UTILITY OWNER(S).</div><div>11. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, COORDINATES AND ELEVATIONS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES SO THE CONFLICT MAY BE RESOLVED.</div><div>12. ALL PROPERTY MARKERS AND SURVEY REFERENCE MARKERS SHALL BE CAREFULLY PRESERVED DURING CONSTRUCTION UNTIL THEIR LOCATION HAS BEEN WITNESSED OR OTHERWISE TIED IN BY AN AUTHORIZED AGENT OR PROFESSIONALLY LICENSED SURVEYOR.</div><div>13. THE SAFE AND ORDERLY PASSAGE OF TRAFFIC AND PEDESTRIANS SHALL BE PROVIDED WHERE CONSTRUCTION OPERATIONS ABUT PUBLIC THROUGH-FARES AND ADJACENT PROPERTY.</div><div>14. ALL AREAS DISTURBED BY THE GENERAL CONTRACTOR OR SUB-CONTRACTORS SHALL BE RETURNED TO THE ORIGINAL CONDITION OR BETTER, EXCEPT WHERE PROPOSED CONSTRUCTION IS INDICATED ON THE PLANS.</div><div>15. PRIOR TO INITIAL ACCEPTANCE BY THE OWNER(S) AND/OR GOVERNING AUTHORITY, ALL WORK SHALL BE INSPECTED AND APPROVED BY THE OWNER AND MUNICIPALITY ENGINEER OR HIS REPRESENTATIVE(S). THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR THE PERIOD OF TIME SPECIFIED IN THE CONTRACT DOCUMENTS AND SHALL BE HELD RESPONSIBLE FOR ANY DEFECTS IN MATERIAL OR WORKMANSHIP OF THIS WORK DURING THAT PERIOD AND UNTIL FINAL ACCEPTANCE IS MADE.</div><div>16. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.</div><div>17. CONTRACTOR SHALL KEEP THE PUBLIC STREET PAVEMENTS CLEAN OF DIRT AND DEBRIS AND, WHEN NECESSARY, CLEAN PAVEMENTS AT THE END OF EACH WORKING DAY.</div><div>18. ALL CONSTRUCTION STAKING, SCHEDULING AND PAYMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.</div><div>19. AFTER COMPLETION OF THE PROPOSED IMPROVEMENTS, CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH AS-BUILT AND/OR RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONALLY LICENSED ENGINEER OR SURVEYOR AND SHALL INCLUDE AT A MINIMUM (WHERE APPLICABLE TO THE SCOPE OF WORK) THE FOLLOWING ITEMS:</div><div>19.1. TOPOGRAPHY AND SPOT GRADE ELEVATIONS OF ALL PROPOSED PERMANENT SITE FEATURES INCLUDING ANY STORM WATER FACILITIES OR MODIFICATIONS TO EXISTING STORM WATER FACILITIES.</div><div>19.2. HORIZONTAL AND VERTICAL LOCATION AND ALIGNMENT OF ALL PROPOSED ROADWAYS, PARKING LOTS, UTILITIES, BUILDINGS OR OTHER PERMANENT SITE FEATURES.</div><div>19.3. RIM AND INVERT AND/OR TOP OF PIPE ELEVATIONS FOR ALL PROPOSED UTILITIES.</div><div>19.4. AS-BUILT AND/OR RECORD DRAWING INFORMATION SHALL BE SHOWN ON THE APPROVED ENGINEERING PLANS ISSUED FOR CONSTRUCTION. ALL AS-BUILT DRAWING MUST BE PROVIDED WITH ELECTRONIC FILES (AUTOCAD FORMAT) OF AS-BUILT. ANY AND ALL DEVIATIONS FROM THESE APPROVED PLANS SHALL BE SHOWN BY MEANS OF STRIKING THROUGH THE PROPOSED INFORMATION AND CLEARLY INDICATING THE AS-BUILT LOCATIONS AND ELEVATIONS ON THE APPLICABLE PLAN SHEET.</div></div>	<div><div>1. ALL JOINTS, FITTINGS, AND CONNECTIONS SHALL BE WATER TIGHT. SOIL TIGHT IS NOT ACCEPTABLE.</div><div>2. EARTH EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, CONSTRUCTION OF EMBANKMENTS, NON-STRUCTURAL FILLS, FINAL SHAPING AND TRIMMING TO THE LINES, GRADES AND CROSS SECTIONS SHOWN ON THE PLANS. THIS WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF PART TWO (2) OF THE "WISDOT STANDARD SPECIFICATIONS." ALL UNSUITABLE OR EXCESS MATERIAL SHALL BE DISPOSED OF LEGALLY OFFSITE OR AS DIRECTED BY THE PROJECT REPRESENTATIVE IN THE FIELD.</div><div>3. EXCAVATED TOPSOIL SHALL BE STOCKPILED ON THE SITE IN AREAS DESIGNATED BY THE PROJECT ENGINEER AND/OR OWNER'S REPRESENTATIVE UNTIL SUCH TIME THAT THIS TOPSOIL CAN BE USED FOR FINAL GRADING, UNLESS OTHERWISE NOTED ON THE PLANS, A MINIMUM OF 4" TOPSOIL RE-SPREAD AND SEEDING FOR ALL DISTURBED AREAS IS REQUIRED.</div><div>4. THE GRADING OPERATIONS ARE TO BE CLOSELY SUPERVISED AND INSPECTED, PARTICULARLY DURING THE REMOVAL OF UNSUITABLE MATERIAL AND THE CONSTRUCTION OF EMBANKMENTS OR BUILDING PADS, BY A SOLS ENGINEER OR HIS REPRESENTATIVE. FURTHER CONSTRUCTION OPERATIONS WILL NOT BE PERMITTED UNTIL THE SOLS ENGINEER ISSUES A WRITTEN STATEMENT THAT THE AREA IN QUESTION HAS BEEN SATISFACTORILY PREPARED AND IS READY FOR CONSTRUCTION.</div><div>5. ALL TESTING, INSPECTION AND SUPERVISION OF SOIL QUALITY, UNSUITABLE SOIL REMOVAL AND ITS REPLACEMENT AND OTHER SOLS RELATED OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE COORDINATED WITH AND PERFORMED AT THE DIRECTION OF THE OWNER'S GEOCHEMICAL ENGINEER.</div><div>6. THE CONTRACTOR SHALL USE CARE IN GRADING NEAR TREES, SHRUBS, AND BUSHES WHICH ARE NOT NOTED TO BE REMOVED SO AS NOT TO CAUSE INJURY TO ROOTS OR TRUNKS.</div><div>7. THE CONTRACTOR SHALL USE CARE IN GRADING OR EXCAVATING NEAR ANY AND ALL EXISTING ITEMS WHICH ARE NOT INDICATED TO BE REMOVED. ANY DAMAGE DONE TO THESE EXISTING ITEMS BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT HIS OWN EXPENSE.</div><div>8. REMOVED DRIVEWAY PAVEMENT, SIDEWALK, CURBS, TREES AND STUMPS SHALL BE DISPOSED OF LEGALLY OFFSITE AT LOCATIONS DETERMINED BY THE CONTRACTOR.</div><div>9. ON AND OFFSITE PAVING AND CURBS TO REMAIN SHALL BE PROTECTED FROM DAMAGE, AND, IF DAMAGED, SHALL BE REPLACED PROMPTLY TO MEET STATE AND LOCAL STANDARD SPECIFICATIONS IN MATERIALS AND WORKMANSHIP.</div><div>10. PROPOSED ELEVATIONS INDICATE FINISHED GRADE CONDITIONS. FOR ROUGH GRADING ELEVATIONS ALLOW FOR THE THICKNESS OF THE PROPOSED PAVEMENT SECTION (ROADS, WALKS, DRIVE, ETC.) OR TOPSOIL AS INDICATED ON THE PLANS.</div><div>11. CONTRACTOR SHALL PROVIDE SMOOTH VERTICAL CURVES THROUGH THE HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS ON THE PLANS. CONTRACTOR SHALL PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES AND AVOID ANY RIDGES AND/OR DEPRESSIONS.</div><div>12. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRADES FLUSH.</div><div>13. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER AND OTHER UTILITY STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.</div><div>14. SITE GRADING AND CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS SHALL NOT CAUSE PONDING OF STORM WATER. ALL AREAS ADJACENT TO THESE IMPROVEMENTS SHALL BE GRADED TO ALLOW POSITIVE DRAINAGE AND MATCH EXISTING GRADES FLUSH.</div><div>15. CONTRACTOR SHALL ENSURE POSITIVE SITE DRAINAGE AT THE END OF EACH WORKING DAY DURING CONSTRUCTION OPERATIONS. FAILURE TO PROVIDE ADEQUATE DRAINAGE WILL PRECLUDE THE CONTRACTOR FROM ANY POSSIBLE COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT.</div><div>16. DRIVEWAYS SHALL BE CONSTRUCTED SO AS NOT TO IMPEDE THE SURFACE DRAINAGE SYSTEM.</div><div>17. TRAFFIC CONTROL DEVICES SHALL BE IN CONFORMANCE WITH THE "WISDOT STANDARD SPECIFICATIONS" AND SHALL BE FURNISHED AND INSTALLED WHENEVER CONSTRUCTION ENCLOSEACHES WITHIN STREET AREAS. APPLICABLE ORDINANCES OF THE MUNICIPALITY, COUNTY OR STATE SHALL ALSO GOVERN THE TRAFFIC CONTROL REQUIREMENTS.</div></div>	<div><div>1. ALL STORM SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO ("STANDARD SPECIFICATIONS"), THE NOTES IN THE PLANS AND THE STANDARDS, SPECIFICATIONS, CODES AND ORDINANCES OF THE LOCAL GOVERNING AUTHORITIES (CITY OF FITCHBURG), IN CASE OF CONFLICT, THE MORE STRINGENT CODE SHALL TAKE PRECEDENCE.</div><div>2. STORM SEWER STRUCTURES SHALL BE PRECAST REINFORCED CONCRETE AND SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH CHAPTERS 3.5.0 AND 3.6.0 OF THE "STANDARD SPECIFICATIONS" AND THE NOTES AND DETAILS SHOWN ON THE PLANS.</div><div>3. STORM SEWER PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH PART III AND PART VIII OF THE "STANDARD SPECIFICATIONS."</div><div>4. STORM SEWER PIPE AND END SECTION MATERIAL SHALL BE REINFORCED OR NON-REINFORCED CONCRETE SEWER PIPE AS SHOWN ON THE PLANS CONFORMING TO THE FOLLOWING:</div><div>4.1. REINFORCED CONCRETE SEWER PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76. JOINTS SHALL BE CEMENT MORTARED TYPE JOINTS, AS PER SECTION 3.2.16 OF THE "STANDARD SPECIFICATIONS".</div><div>4.2. NONREINFORCED CONCRETE SEWER PIPE (NRCP) SHALL MEET THE REQUIREMENTS OF ASTM C-507. JOINTS SHALL BE CEMENT MORTARED TYPE JOINTS, AS PER SECTION 3.2.16 OF THE "STANDARD SPECIFICATIONS".</div><div>4.3. HDPE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE PIPE PER ASTM F-2306 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212.</div><div>6. ALL JOINTS, FITTINGS, AND CONNECTIONS SHALL BE WATER TIGHT. SOIL TIGHT IS NOT ACCEPTABLE.</div><div>7. PVC STORM SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 PIPE PER ASTM D-3034 WITH WATERTIGHT JOINTS CONFORMING TO ASTM D-3212, UNLESS OTHERWISE NOTED.</div><div>8. STORM SEWER TRENCH EXCAVATIONS AND PIPE FOUNDATION, BEDDING AND HAUNCHING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTERS 3.1.0 AND 3.2.0 OF THE "STANDARD SPECIFICATIONS."</div><div>8.1. STORM SEWER BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS", AS NOTED BELOW, UNLESS OTHERWISE SPECIFIED ON THE PLANS, CLASS "C" BEDDING SHALL BE USED.</div><div>8.1.1. CLASS "C" BEDDING - FILE NO. 3 AND SECTION 3.2.6(A).</div><div>8.1.2. BEDDING MATERIAL MAY BE SUBSTITUTED FOR COVER MATERIAL IN SEWER INSTALLATION. COVER MATERIAL FOR STORM SEWER 36 INCHES AND UNDER SHALL BE OF THE SAME MATERIAL AS THE BEDDING.</div><div>9. GRANULAR TRENCH BACKFILL MATERIAL SHALL BE PLACED AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY, PER ASTM D-698, OVER ALL STORM SEWERS WHICH ARE CONSTRUCTED UNDER, OR WITHIN TEN (10) FEET OF, ANY PROPOSED OR EXISTING PAVEMENT, PARKING LOTS OR SIDEWALKS. GRANULAR BACKFILL MATERIALS SHALL CONFORM TO SECTION 8.4.3.4 OF THE "STANDARD SPECIFICATIONS." EXCAVATED MATERIAL CONFORMING TO SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS" MAY BE USED AS BACKFILL IN OTHER AREAS.</div><div>10. REQUIRED STORM STRUCTURE RIM ADJUSTMENTS SHALL BE MADE WITH PRECAST CONCRETE ADJUSTING RINGS. ADJUSTING RING HEIGHTS SHALL BE A MINIMUM OF SIX (6) INCHES AND A MAXIMUM OF FIFTEEN (15) INCHES IN OVERALL HEIGHT. BUTYLOPE JOINT SEALANT SHALL BE USED ON ALL JOINTS BETWEEN THE PRECAST ELEMENTS.</div><div>11. FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSE</div></div>																				

1. ALL SPOT ELEVATIONS SHOWN ON THE PLANS ARE TO:
 - TOP OF PAVEMENT - (TP)
 - TOP OF SIDEWALK/SLAB - (TS)
 - TOP OF CURB
 - TOP OF WALL ELEVATION & FINISHED GRADE - (TW)
 - BOTTOM OF WALL ELEVATION @ FINISHED GRADE - (BW)
- UNLESS NOTED OTHERWISE.
2. CONTOURS SHOWN ARE FOR REFERENCE ONLY.
3. PROVIDE POSITIVE DRAINAGE AT ALL TIMES TO ENSURE NO STANDING WATER WITHIN PAVEMENT, BUILDING PAD, OR GREEN AREAS.
4. FOR ALL CURB ISLANDS, CENTER OF ISLANDS TO BE A MINIMUM OF 6" HIGHER THAN TOP OF CURB TO PROVIDE POSITIVE DRAINAGE.
5. SEE "TYPICAL PAVEMENT AT MH AND CB" DETAIL ON SHEET C-701 FOR SPECIAL GRADING REQUIREMENTS AROUND STRUCTURES.
6. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO MATCH AT A MINIMUM EXISTING CONDITIONS.
7. CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREAS SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC. SAFETY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
8. BELOW SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.1 FEET ABOVE OR BELOW ESTABLISHED FINISHED SURFACE ELEVATIONS AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. FINISHED DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION.
9. ALL GRADING AND SITE PREPARATION WORK SHALL CONFORM WITH THE RECOMMENDATIONS AND CIVIL SPECIFICATIONS.
10. CONTRACTOR SHALL CAREFULLY PRESERVE ALL SITE BENCHMARKS AND REFERENCE POINTS DURING CONSTRUCTION OPERATIONS.
11. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIGERS HOTLINE (811 OR 1-800-242-8511) AND/OR PRIVATE LOCAL CONTACT SERVICE AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXIST FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
12. CONTRACTOR SHALL INSTALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO COMMENCEMENT OF SITE GRADING OPERATIONS.
13. ALL PROPOSED GRADING, PAVEMENT, APRONS, CURBS, WALKS, ETC. SHALL MATCH EXISTING GRASSES FLUSH.
14. PAVEMENT SUBGRADES AND STONE BASE COURSE MATERIALS SHALL BE INSTALLED AND COMPACTED IN ACCORDANCE WITH THE CIVIL SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION OF THE PROPOSED PAVEMENT SURFACE AND/OR BASE COURSES.
15. CUT AND FILL SLOPES SHALL HAVE A MAXIMUM SLOPE OF 3:1.
16. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TO ALL STORM DRAINAGE STRUCTURES. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
17. ALL EXISTING AND PROPOSED TOP OF FRAME ELEVATIONS FOR STORM, SANITARY, WATER MAINS, AND OTHER STRUCTURES SHALL BE ADJUSTED TO MEET FINISHED GRADE WITHIN THE PROJECT LIMITS.
18. MAXIMUM CROSS SLOPES AND LONGITUDINAL SLOPES FOR ALL CONCRETE SIDEWALKS AND HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 2% AND 5%, RESPECTIVELY.
19. MAXIMUM SLOPES WITHIN HANDICAP ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
20. MAXIMUM GRADE DIFFERENCE BETWEEN PAVEMENT SURFACES AND ADJACENT CONCRETE SIDEWALKS FOR THE ACCESSIBLE ROUTE TO THE BUILDING SHALL NOT EXCEED 1/4" VERTICAL OR 1/2" WHEN BEVELED.
21. ALL HANDICAP ACCESSIBLE EXTERIOR DOORWAY LOCATIONS REQUIRE AN EXTERIOR LANDING THAT IS A MINIMUM OF FIVE (5) FEET IN LENGTH WITH A SLOPE NOT EXCEEDING 2% IN ANY DIRECTION.
22. EXCAVATION SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF EXISTING UTILITIES AND STRUCTURES. EXCAVATION SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A. AND LOCAL REGULATIONS.

1. CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH THE PROPOSED IMPROVEMENTS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. IF UTILITY CONFLICTS ARE ENCOUNTERED, CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE EXISTING UTILITIES IN CONFORMANCE WITH THEIR GUIDELINES.
2. PROTECT AND MAINTAIN CROSSINGS OF OTHER UTILITIES.
3. ALL DIMENSIONS ARE TO COLUMN LINE, CENTERLINE OF PIPE, CENTER OF MANHOLE, EDGE OF PAVEMENT OR FACE OF CURB WHERE APPLICABLE.
4. REFER TO ALTA/ACSM LAND TITLE SURVEY FOR BENCHMARK INFORMATION.
5. ALL MATERIALS, SPECIFICATIONS, AND CONSTRUCTION METHODS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:
 - 5.1. MEJER STANDARD SPECIFICATIONS AND DETAILS
 - 5.2. STATE OF WISCONSIN DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION," AS ADOPTED JANUARY 1, 2013 AND ALL SUBSEQUENT REVISIONS THERETO.
 - 5.3. "STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN" SIXTH EDITION, DATED DECEMBER 22, 2003 AND ALL SUBSEQUENT REVISIONS THERETO.
6. REFER TO DETAIL D4 ON SHEET C-700 FOR TYPICAL PIPE TRENCH DETAIL.
7. CONTRACTOR SHALL EXCAVATE AND FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, SIZES, CONDITIONS AND ELEVATIONS AT PROPOSED POINTS OF CONNECTION PRIOR TO COMMENCING ANY UNDERGROUND CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. ALL PROPOSED CONNECTIONS TO EXISTING UTILITY STRUCTURES OR PIPING SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNING AUTHORITY REQUIREMENTS AND SPECIFICATIONS.
9. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
10. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN PROPOSED BUILDING METER AND EXISTING GAS MAIN.
11. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE PROPOSED TRANSFORMER.
12. UNDERGROUND CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL AND BUILDING MEP PLANS TO ENSURE ACCURACY OF THE PROPOSED UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.

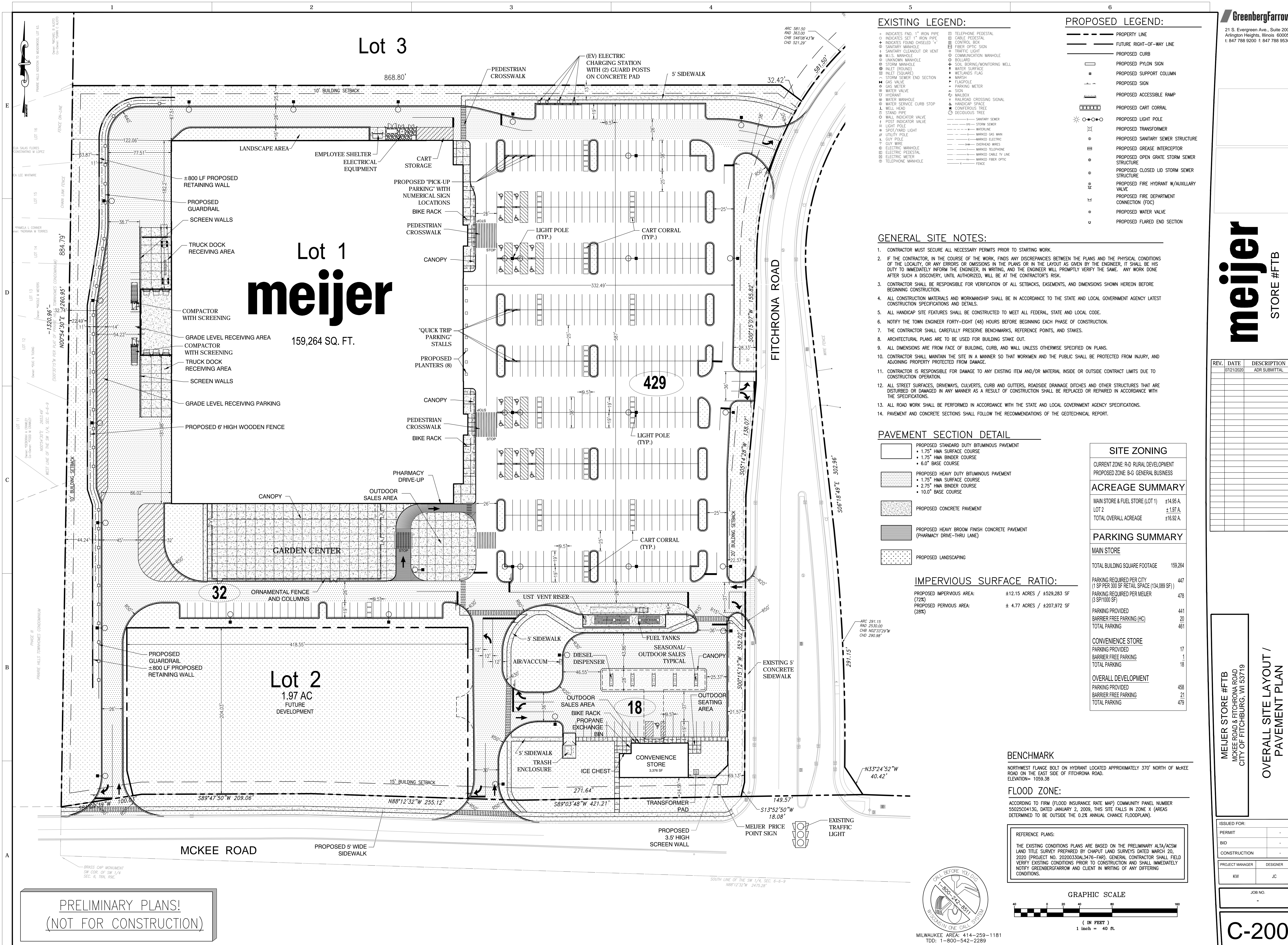
1. CITY OF FITZBURGH ENGINEERING DEPARTMENT SHALL BE NOTIFIED 48 HOURS PRIOR TO COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES ON SITE.
2. COPIES OF THE APPROVED STORM WATER POLLUTION PREVENTION PLANS SHALL BE MAINTAINED ON THE SITE AT ALL TIMES ALONG WITH ALL NECESSARY PERMITS AND INSPECTION FORMS.
3. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DEVICES SHALL BE INSTALLED AND FUNCTIONAL BEFORE THE SITE IS OTHERWISE DISTURBED. THEY SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SITE STABILIZATION HAS BEEN ACHIEVED.
4. CONTRACTOR SHALL IMPLEMENT SITE SPECIFIC BEST MANAGEMENT PRACTICES (BMPs) AS SHOWN AND REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED BY THE CONTRACTOR AS DICTATED BY SITE CONDITIONS OR THE PROJECT GOVERNING AUTHORITIES AT NO ADDITIONAL COST TO THE OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
5. ALL BEST MANAGEMENT PRACTICES AND CONTROL MEASURES SHALL CONFORM TO THE APPLICABLE FEDERAL, STATE, OR LOCAL REQUIREMENTS, STANDARDS, AND SPECIFICATIONS OR MANUAL OF PRACTICE.
6. IF AFTER REPEATED FAILURE ON THE PART OF THE CONTRACTOR TO PROPERLY CONTROL SOIL EROSION, SEDIMENT AND/OR POLLUTION FROM THE PROJECT SITE, THE CITY OF FITZBURGH SHALL RESERVE THE RIGHT TO EFFECT NECESSARY CORRECTIVE MEASURES AND CHARGE ANY COSTS TO THE CONTRACTOR.
7. INLET PROTECTION SHALL BE INSTALLED AROUND EACH INLET OR CATCH BASIN WITHIN THE VICINITY OF THE DISTURBED AREA LIMITS AS SHOWN ON THE PLANS. THESE SHALL BE MAINTAINED UNTIL THE APPROPRIATE DRAINAGE AREAS HAVE ADEQUATE GRASS COVER AND/OR APPROPRIATE GROUND STABILIZATION.
8. ALL STREETS ADJACENT TO THE PROJECT SITE SHALL BE KEPT FREE OF DIRT, MUD AND DEBRIS. CONTRACTOR SHALL CLEAN ADJACENT PAVEMENTS AT THE END OF EACH WORKING DAY WHEN NECESSARY.
9. CONTRACTORS SHALL MINIMIZE BARE EARTH SURFACES DURING CONSTRUCTION TO THE EXTENT PRACTICABLE.
10. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AS SOON AS IS PRACTICABLE.
11. IF DURING CONSTRUCTION OPERATIONS ANY LOOSE MATERIALS ARE DEPOSITED IN THE FLOW LINE OF GUTTERS, DRAINAGE STRUCTURES, OR DITCHES SUCH THAT THE NATURAL FLOW LINE OF WATER IS OBSTRUCTED, THIS LOOSE MATERIAL SHALL BE REMOVED.
12. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY EXISTING STORM DRAINAGE SYSTEMS BY THE USE OF INLET PROTECTION OR OTHER APPROVED FUNCTIONAL METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT RESULTING FROM CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
13. CONSTRUCTION ACCESS POINTS TO THE SITE SHALL BE PROTECTED IN SUCH A WAY AS TO PREVENT TRACKING OF MUD OR SOIL ONTO PUBLIC THOROUGHFARES. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
14. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
15. DUST SHALL BE ADEQUATELY CONTROLLED ON THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
16. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED TRASH CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
17. DURING DEMOLITION OPERATIONS, WATER SHALL BE PUMPED OR OTHERWISE DIVERTED FROM THE SITE INTO SEDIMENT BASINS, SILT TRAPS, Dewatering BAGS OR POLYMER MIXING SLOTTES. DEWATERING DIRECTLY INTO FIELD TILES OR STORMWATER SYSTEMS IS PROHIBITED.
18. ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED WITHIN THREE (3) DAYS OF FINAL DISBURBANCE.
19. ALL SOIL STOCKPILES SHALL BE STABILIZED WITHIN THREE (3) DAYS OF FORMING THE STOCKPILE.
20. CONSTRUCTION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY TO THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED AS FOLLOWS:
21. WHEN THE INITIATION OF STABILIZATION MEASURES BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECULUED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.
 - 21.1. WHEN CONSTRUCTION ACTIVITY WILL RESUME ON THE PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED (I.E. THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY WILL BE TEMPORARILY CEASED IS 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 7TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES.
22. PRE-QUALIFIED PERSONNEL (PROVIDED BY THE CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND, WITHIN TWENTY-FOUR (24) HOURS OF THE END OF A RAINFALL EVENT THAT IS 0.5 INCH OR GREATER (OR EQUIVALENT SNOWFALL), REQUIRED REPAIRS SHOULD BE COMPLETED WITHIN FORTY-EIGHT (48) HOURS OF THE INSPECTION.
23. EROSION CONTROL BLANKETS SHALL BE USED IN AREAS OF 4:1 SLOPE OR STEEPER.
24. ALL TEMPORARY EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARILY CEASED AREAS ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE PROPERLY STABILIZED OR DISPOSED OF OFF SITE BY THE CONTRACTOR.
25. PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES IN AREAS OTHER THAN THOSE INDICATED ON THESE PLANS (INCLUDING BUT NOT LIMITED TO ADDITIONAL PHASES OF DEVELOPMENT AND OFF-SITE BORROW OR WASTE AREAS) A SUPPLEMENTARY STORM WATER POLLUTION PREVENTION PLAN SHALL BE SUBMITTED TO THE OWNER AND ENGINEER FOR REVIEW.
26. CONTRACTOR SHALL MODIFY OR ADD TO THE IDENTIFIED EROSION CONTROL MEASURES THAT WERE REQUIRED DURING CONSTRUCTION IN CONSULTATION WITH THE CITY OF FITZBURGH FIELD ENGINEER TO MEET THE EROSION CONTROL NEEDS OF THE SITE.

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD

OVERALL SITE LAYOUT /
PAVEMENT PLANJOB NO.

C-200



MEIER STORE #FTB
MCKEE ROAD & FITCHROMA ROAD
CITY OF FITCHBURG, WI 53719

JOB NO.

2000
arran

SECTION A-A

1. CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
2. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF ANY UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HAUL OFF FROM THE APPROPRIATE AUTHORITIES.
3. ALTERATION MUST BE OBTAINED FROM THE GOVERNING AUTHORITY TO CONSTRUCT, AUTHOR OR MODIFY A WATER OR SEWER LINE. CONSTRUCTION OF WATER AND SEWER INFRASTRUCTURE WILL BE AUTHORIZED BY THE WATER SYSTEM UPON:
 - * APPROVAL OF SUBMITTED PLANS.
 - * NOTIFICATION OF THE WATER SYSTEM AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION.
4. AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
5. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
6. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE TO THE TRANSFORMER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATION THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
8. CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
9. COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
10. ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION AND SEDIMENT SHALL BE PREVENTED FROM ENTERING THE SEWER. IF ANY SILT OR DEBRIS HAS ACCUMULATED IN THE SEWER THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL.
11. ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF SITE BY CONTRACTOR.
12. COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
13. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, CONTRACTOR SHALL SUBMIT FOUR (4) COPIES OF A FINAL AS-BUILT SURVEY.

	1" IRON PIPE FOUND		SANITARY MANHOLE
	1" IRON PIPE SET		SEPTIC TANK
	IRON ROD FOUND		CATCH BASIN
	MONUMENT FOUND		CULVERT
	FLAG POLE		INLET
	CABLE PEDISTAL		STORM CLEANOUT
	ELECTRIC MANHOLE		STORM MANHOLE
	ELECTRIC METER		SIGN
	ELECTRIC PEDISTAL		TRAFFIC SIGNAL
	GUY WIRE		EVERGREEN SHRUB
	LIGHT POLE		EVERGREEN TREE
	POWER POLE		TREE
	YARD LIGHT		TREE SHRUB
	GAS METER		STUMP
	GAS VALVE		FIRE HYDRANT
	BOLLARD		WATER SHUT OFF
	FENCE POST		WATER VALVE
	MAILBOX		WATER SPOGOT
	MISCELLANEOUS MANHOLE		AIR HANDLING UNIT
	ROCK		UNDERGROUND CABLE
	SANITARY CLEANOUT		OVERHEAD WIRES
	CENTERLINE		UNDERGROUND ELECTRIC
	CURB		GAS
	GRAVEL		LANDSCAPE
	CULVERT		FENCE
	WOOD LINE		GUARDRAIL
	RETAINING WALL		WATERMAIN
	NO ACCESS LINE		CONTOUR MAJOR

	PROPERTY LINE
	FUTURE RIGHT-OF-WAY LINE
	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED GARDEN CENTER FENCE
	PROPOSED MONUMENT SIGN
	PROPOSED LIGHT POLE
	PROPOSED TRANSFORMER
	PROPOSED SANITARY SEWER STRUCTURE
	PROPOSED GREASE INTERCEPTOR
	PROPOSED OPEN GRATE STORM SEWER STRUCTURE
	PROPOSED CLOSED LID STORM SEWER STRUCTURE
	PROPOSED FIRE HYDRANT W/AUXILIARY VALVE
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED WATER VALVE
	PROPOSED BACKFLOW VALVE IN VALVE VAULT
	PROPOSED FLARED END SECTION
	PROPOSED WATER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED ELECTRIC LINE
	PROPOSED GAS LINE
	PROPOSED TELEPHONE LINE

THE EXISTING CONDITIONS PLANS ARE BASED ON THE PRELIMINARY ALTA/ACSM LAND TITLE SURVEY PREPARED BY CHAPUT LAND SURVEYS DATED MARCH 20, 2020 (PROJECT NO. 20200330ALSA476-FAR). GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY GREENBERGFARROW AND CLIENT IN WRITING OF ANY DIFFERING CONDITIONS.

NORTHWEST FLANGE BOLT ON HYDRANT LOCATED APPROXIMATELY 370' NORTH OF McKEE ROAD ON THE EAST SIDE OF FITCHRONA ROAD.
ELEVATION= 1059.38

ACCORDING TO FIRM (FLOOD INSURANCE RATE MAP) COMMUNITY PANEL NUMBER 55025C0413G, DATED JANUARY 2, 2009, THIS SITE FALLS IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



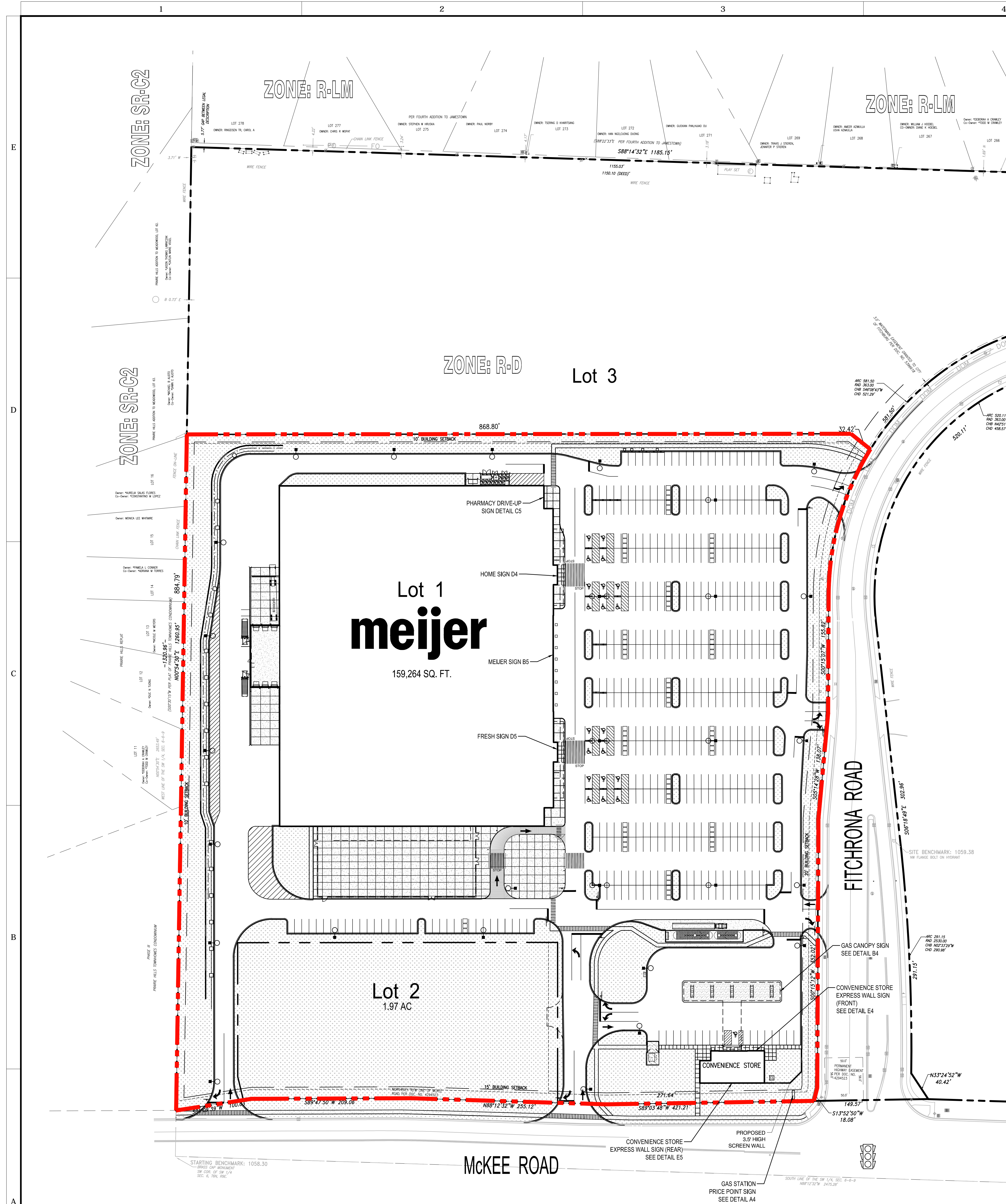
MILWAUKEE AREA: 414-259-1181
TDD: 1-800-542-2289

PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

Drawing Name: P:\2020\20200104\0800 Civil_Current Drawings\CD\C-400-FTB.dwg
July 17, 2020 7:6 AM - ecaran



GENERAL NOTES

1. SIGNAGE DETAILS ARE NOT TO SCALE. SIGNAGE VENDOR SHALL FABRICATE ALL SIGNAGE ACCORDING TO THE DIMENSIONS AND SQUARE FOOTAGE VALUES PROVIDED ON SHEETS C501 AND C502 FOR THE RESPECTIVE SIGNS.
2. ALL WIRING FOR EXTERIOR SIGNAGE SHALL BE INSTALLED WITHIN CONDUIT PER SPECIFICATIONS.
3. FOR BUILDING SIGNAGE INSTALLATION INFORMATION, REFER TO ARCHITECTURAL PLANS.

CONVENIENCE STORE SIGNAGE

DETAIL	NO.	DESCRIPTION	MEIJER SQ
B4	1	Canopy Logo	23.8
E4	1	Express Sign (Front)	33.1
E5	1	Express Sign (Rear)	33.1
A4	1	Gas Price Point Sign	60.0
		Total	150.0

STORE SIGNAGE

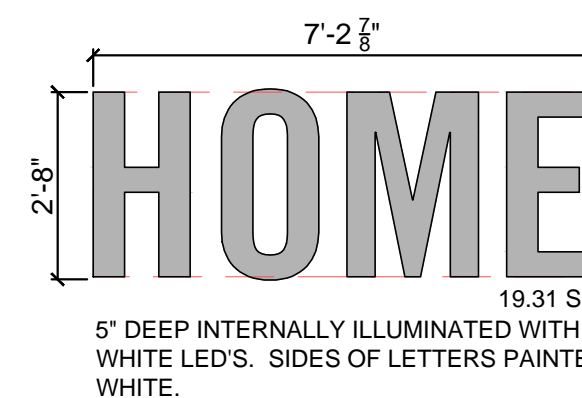
DETAIL	NO.	DESCRIPTION	MEIJER SQ
D5	1	fresh	21.83
B5	1	meijer	230.0
D4	1	home	19.31
C5	1	pharmacy drive up	28.86
Total			300.00



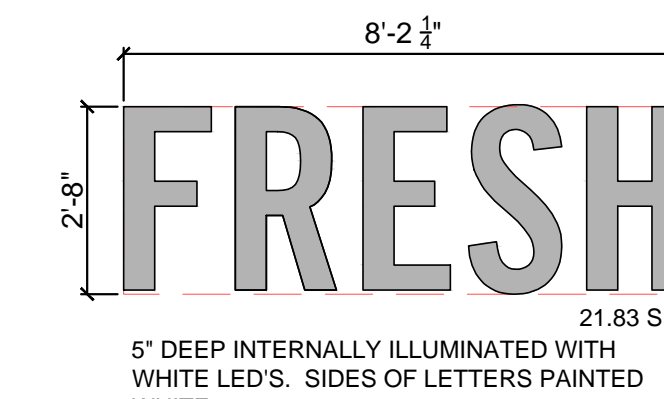
E4 EXPRESS SIGN (FRONT) 33.1 SF



E5 EXPRESS SIGN (REAR) 33.1 S



D4 HOME
NTS

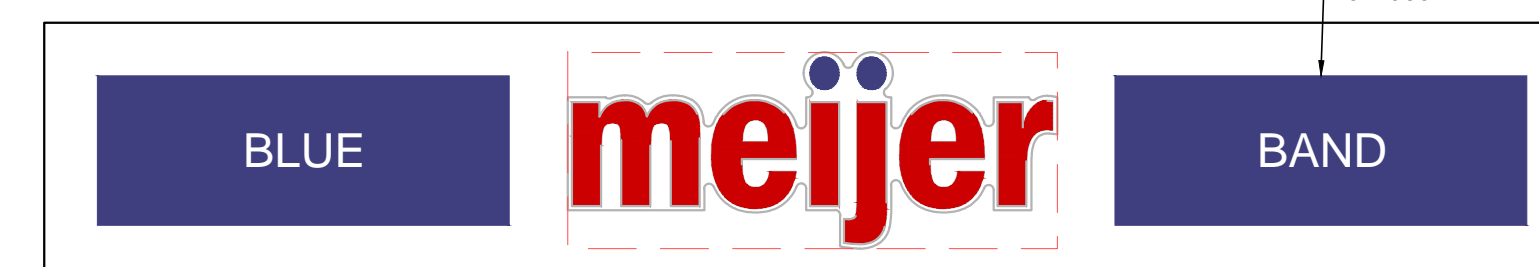


D5 FRESH
NTS



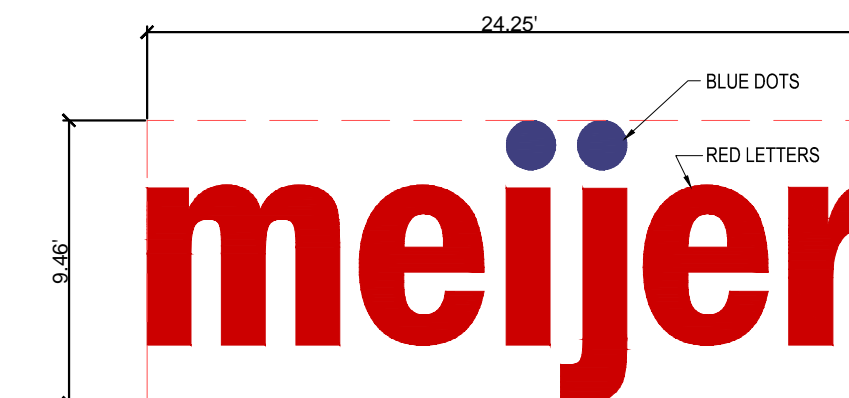
NON-ILLUMINATED 1"
DEEP EXTERIOR QUALITY
FOAM LETTERS.

C5 PHARMACY DRIVE UP

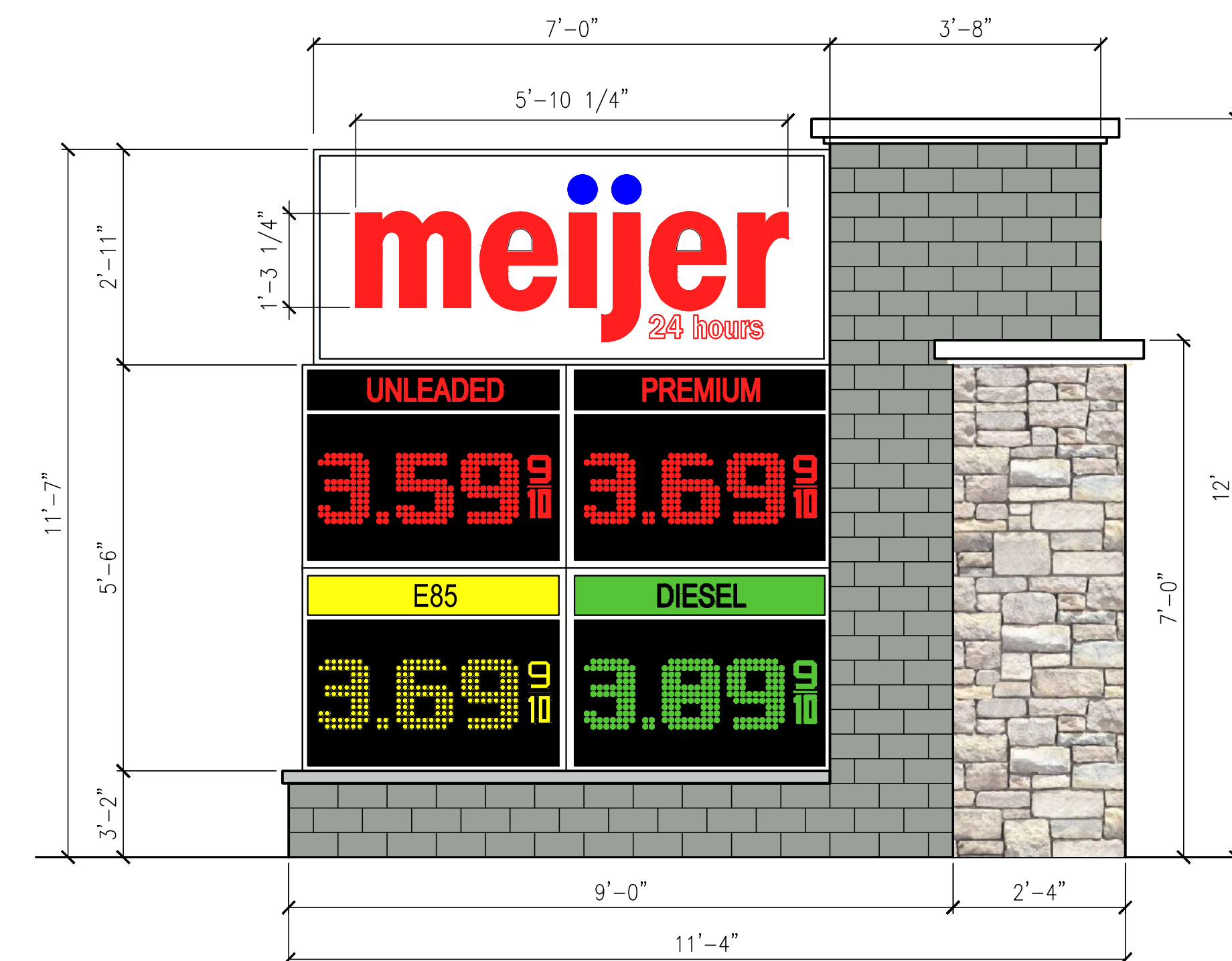


INTERNALLY ILLUMINATED "MEIJER" CHANNEL LETTERS TO MATCH CORPORATE LOGO & COLOR;
SIDES OF LETTERS & RETAINERS TO BE PAINTED TO MATCH RESPECTIVE FACE COLORS.

B4 CANOPY



B5 MEIJER
NTS 230.0 SF



A4 GAS STATION PRICE POINT SIGN

SIGN CABINET: 20.00 SQ.FT.
PRICE CABINET: 40.00 SQ.FT.
TOTAL: 60.00 SQ.FT.

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

OVERALL SIGNAGE PLAN

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
PROJECT MANAGER	DESIGNER
KW	JC

JOB NO.

C501

meijer
STORE #FTB

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

LANDSCAPE PLAN

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
PROJECT MANAGER	DESIGNER
KW	JC

NO.

C600

SYMBOL	ACREAGE	VARIETY	SEEDING RATE
LAWN GRASSES			
3.98 AC 173,361 SF	28% KENTUCKY BLUEGRASS 6% NEWPORT KENTUCKY BLUEGRASS 6% RENELUE KENTUCKY BLUEGRASS 20% CREeping RED FESCUE 15% QUEBEC PERENNIAL RYEGRASS 20% ANNUAL RYEGRASS	NEW SEEDING: ROTARY OR DROP (150-300 LBS/ACRE) OVERSEEDING: SLICER RESEDER 20%-50% EXISTING COVER, 100-125 LBS/ACRE 60%-75% EXISTING COVER, 75-100 LBS/ACRE SEEDING DEPTH: 1/8" TO 1/2"	
SLOPE STABILIZATION SEED MIX			
0.08 AC 42,877 SF	SLOPE STABILIZATION MIX BY CARDNO&NEU	APPLY AT 59.5 PLS POUNDS PER ACRE	
SODDED LAWN AREAS			
173,361 SF	BLACK BEAUTY BLUEGRASS BLEND S00*		
	* CONTRACTOR TO PROVIDE ALTERNATE BID PRICE FOR SODDING ALL TURF LAWN AREAS		

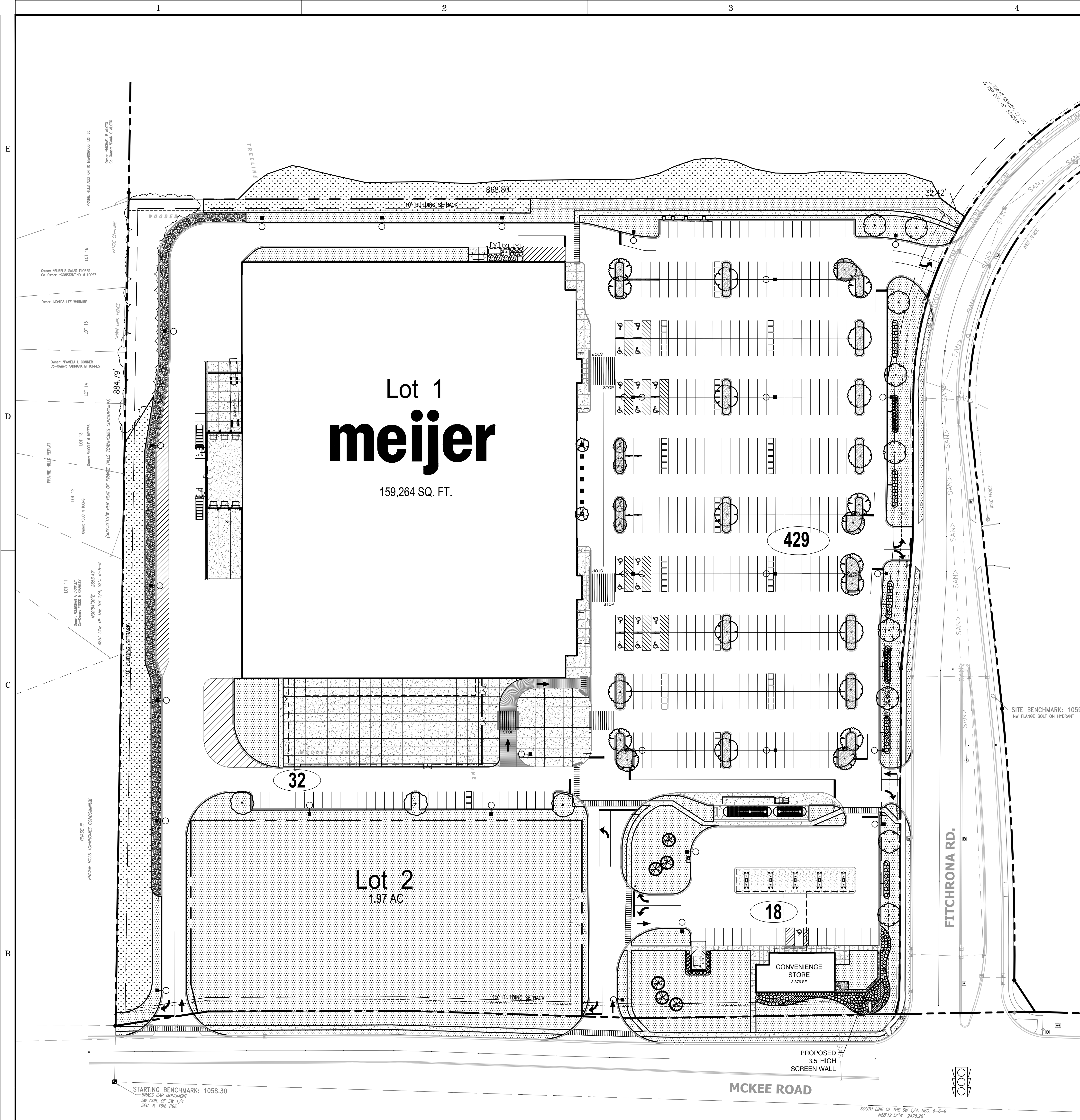
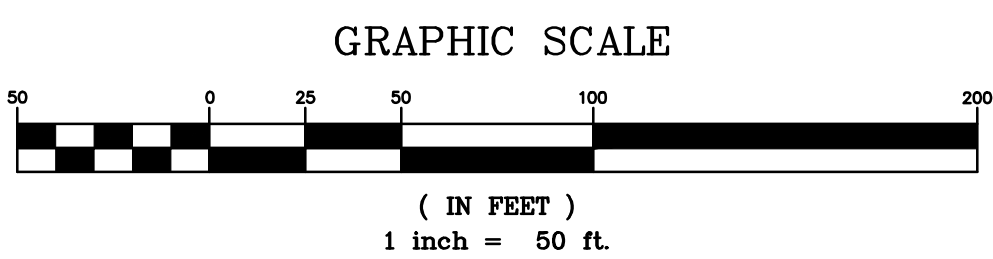
NOT TO SCALE

SYMBOL	DESCRIPTION
1	WASHED GRAVEL (AMERICAN HERITAGE-LARGE) ON WEED BARRIER. 3-INCH DEPTH.
2	4" DEPTH SPADE CUT BEDLINE
3	MULCH ALL LANDSCAPE BEDS WITH 3" DEPTH OF SHREDDED HARD WOOD MULCH, DOUBLE SHRED TO A DEPTH OF 3"
4	SEPARATE LAWN AREAS FROM GRAVEL MAINTENANCE STRIP WITH 4" DEPTH METAL EDGING.
5	MASONRY SCREEN WALL BY OTHERS

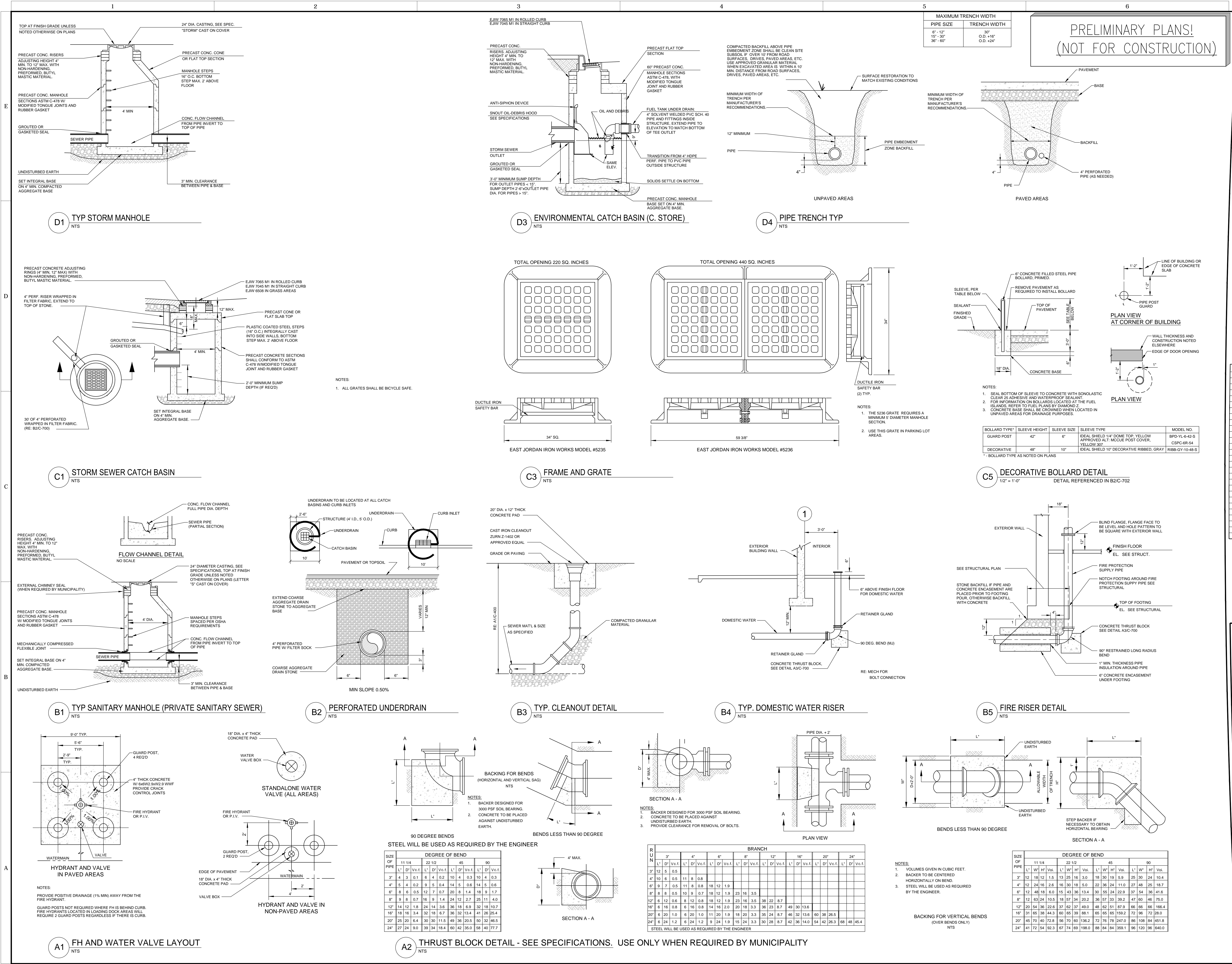
NOT TO SCALE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	AA	9	ACER RUBRUM 'AUTUMN BLAZE' STRONG LEADER	AUTUMN BLAZE RED MAPLE	B & B	2.5'CAL	
	AGA	2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B		8' HT. MIN.
	GTS	12	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM STRONG LEADER	SKYLINE HONEY LOCUST	B & B	2.5'CAL	
	GDE	5	GYMNOCLADUS DIOICA 'ESPRESSO' STRONG CENTRAL LEADER	KENTUCKY COFFEETREE	B & B	2.5'CAL	
	PGD	6	PICEA GLAUCA 'DENSATA' FULL BRANCHING	BLACK HILLS SPRUCE	B & B		6'-8' HT. MIN.
	TAR	6	TILIA AMERICANA 'REDMOND' STRONG CENTRAL LEADER	REDMOND AMERICAN LINDEN	B & B	2.5'CAL	
	UXA	3	ULMIUS X 'ACCOLADE' STRONG CENTRAL LEADER	ACCOLADE ELM	B & B	2.5'CAL	
ORNAMENTAL TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE
	AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' MULTI STEM	AUTUMN BRILLIANCE SERVICEBERRY	B & B		6'-8' HT. MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPACING
	BXG	20	BUXUS X 'GLENCOE' TM	CHICAGO LAND GREEN BOXWEED	3 GAL	18" HT. MIN	
	HAN	76	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL WHITE HYDRANGEA	5 GAL		
	JCK	44	JUNIPERUS CHINENSIS 'KALLAYS COMPACT'	KALLAY COMPACT PFITZER JUNIPER	5 GAL		
	RAG	69	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL		
	SBA	31	SPIRAEA X BUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPIRAEA	5 GAL		
	SMK	17	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	B & B	30" HT.	
	TMT	29	TAXUS X MEDIA 'TAUNTONII'	TAUNTON'S YEW	5 GAL		
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPACING
	PS3	48	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	3 GAL		
ORNAMENTAL GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPACING
	PVN	10	PANICUM VIRGATUM 'NORTH WIND'	NORTHWIND SWITCH GRASS	2 GAL		
	SH	8	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	2 GAL		
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	SPACING
	PSW	8	PHLOX SUBULATA 'WHITE DELIGHT'	WHITE DELIGHT MOSS PHLOX	1 GAL		
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME			
	CAK	31	CALAMAGROSISTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS			
	HS	42	HEMEROCALLIS X 'STELLA DE ORO'	STELLA DE ORO DAYLILY			
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
	SSM	42,877 SF	SLOPE STABILIZATION MIX	SEE PERMANENT GRASSES CHART	SEED		
SEED / SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.		
	LG	173,361 SF	LAWN GRASSES	KENTUCKY BLUEGRASS BLEND	SEED		
			3" DEPTH SHREDDED BARK MULCH				

NOT TO SCALE

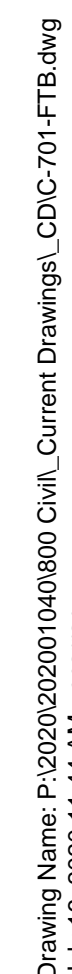

$$1'' = 50'$$


PRELIMINARY PLANS!
(NOT FOR CONSTRUCTION)

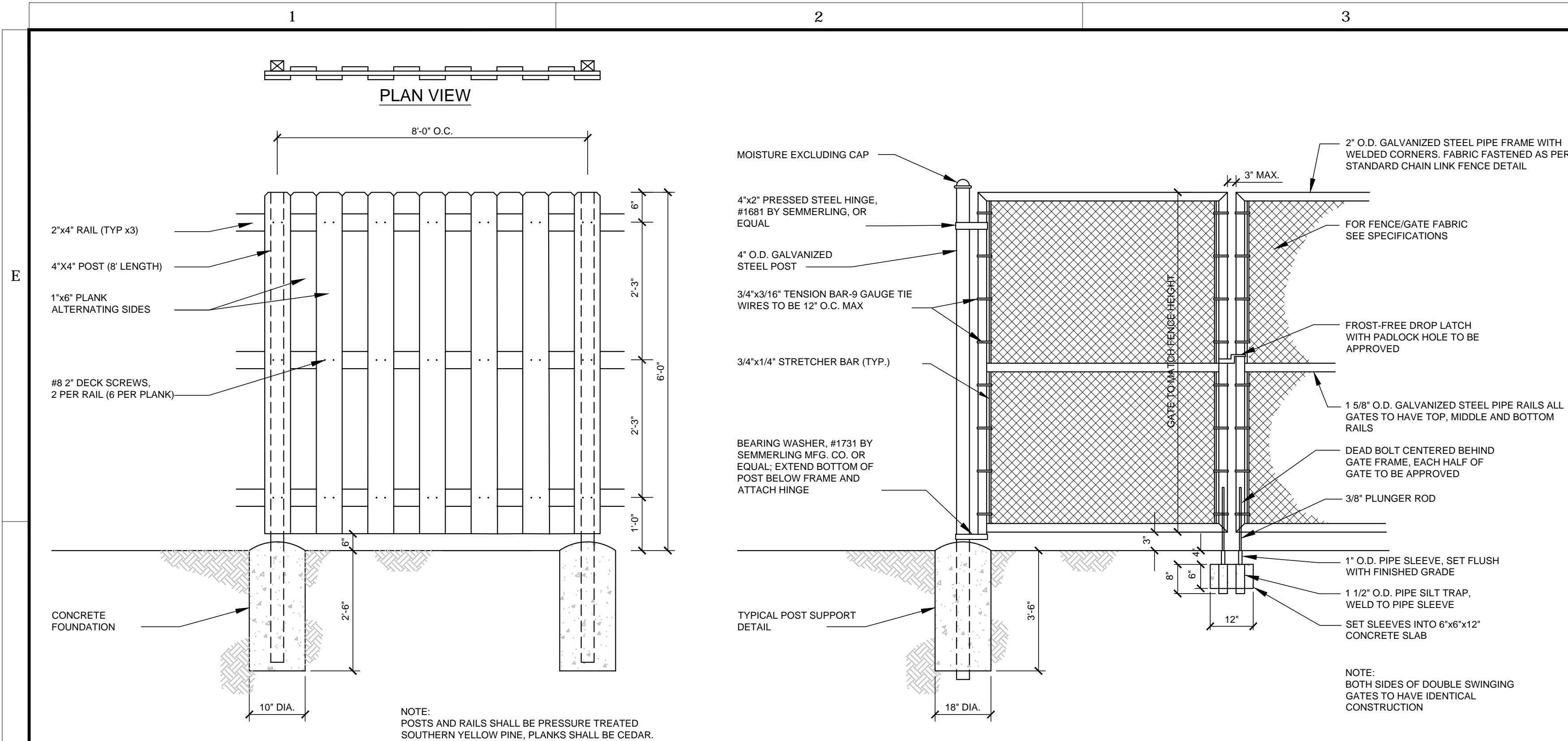


MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

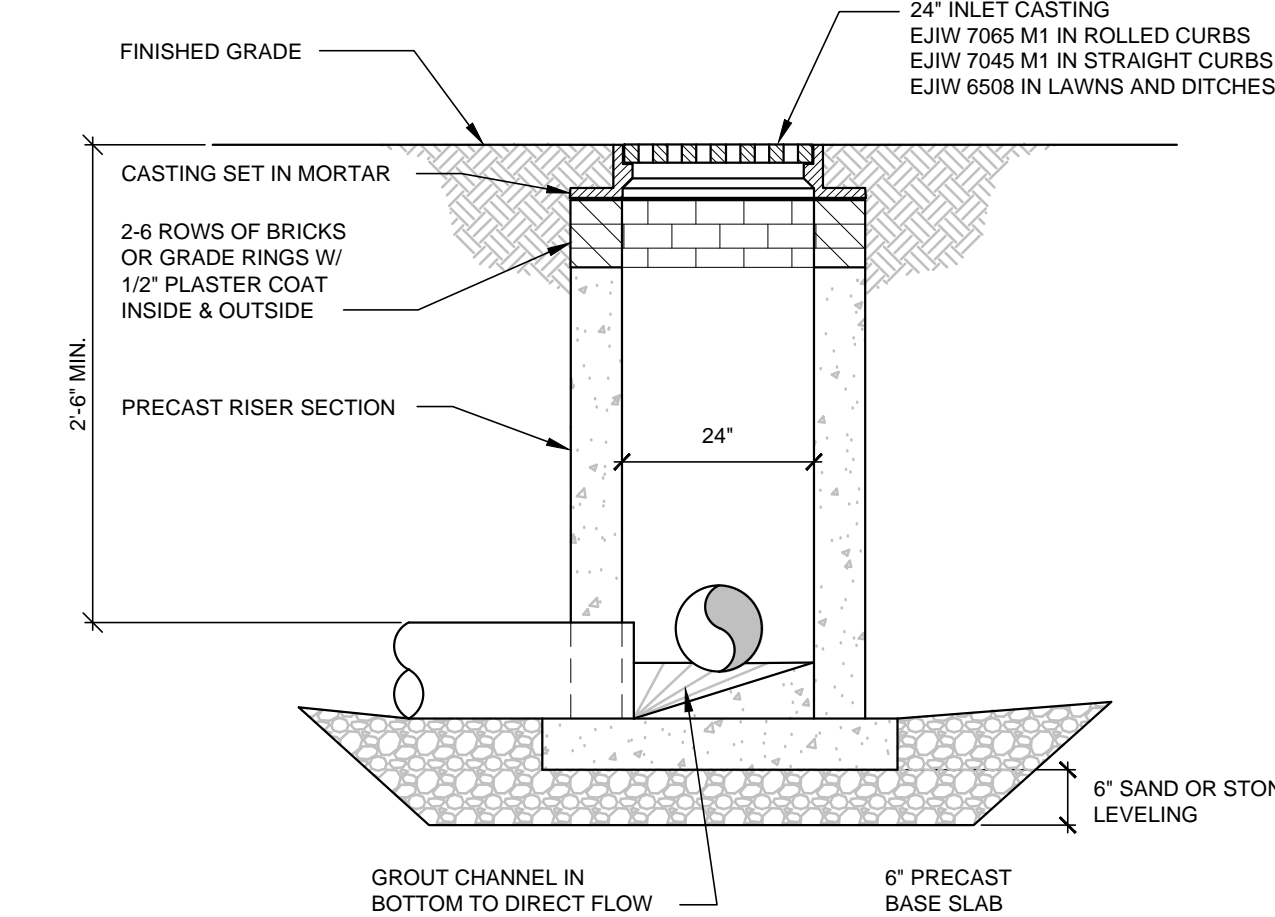
JOB NO.	
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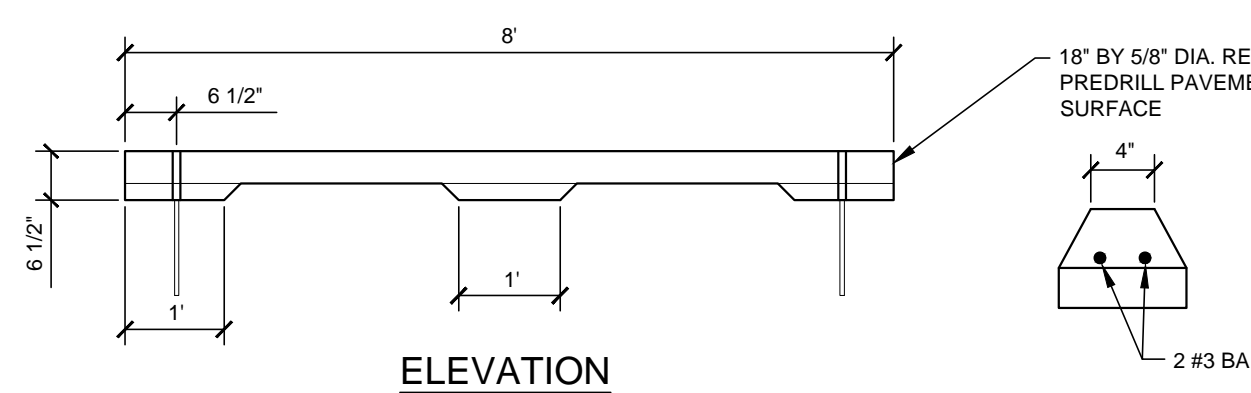
PRELIMINARY PLANS!
(NOT FOR CONSTRUCTION)



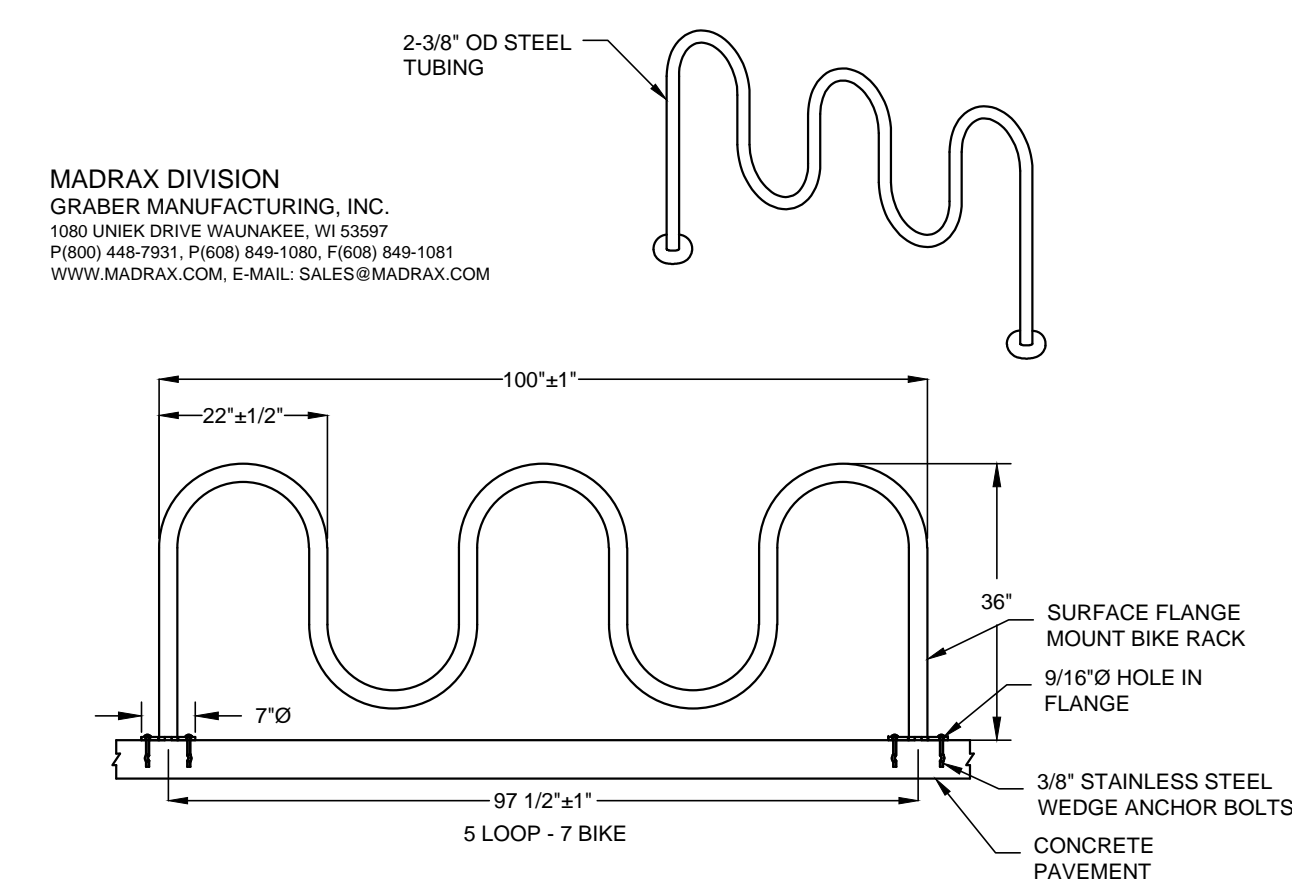
D1 6' BOARD ON BOARD FENCE DETAIL
NTS



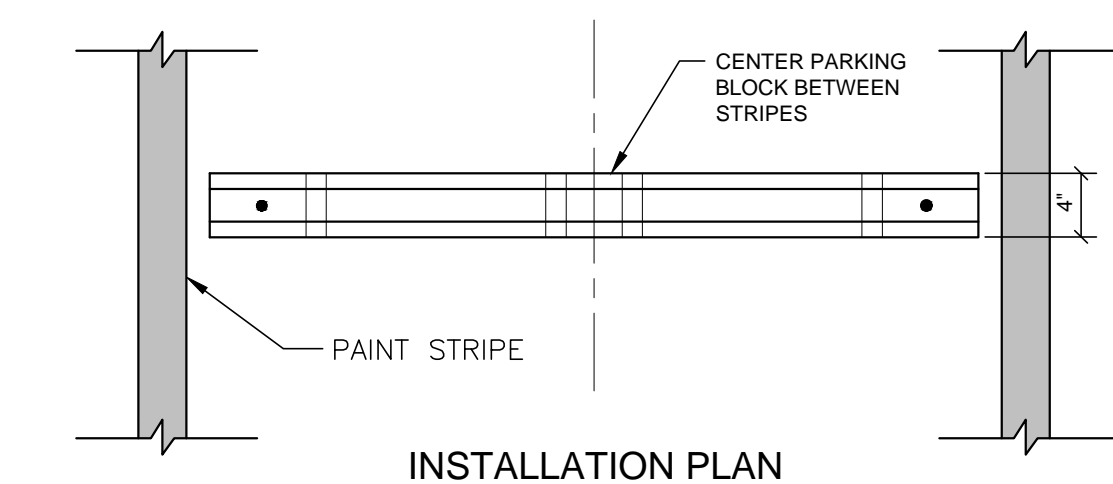
D4 24" DIA. CATCH BASIN
NTS



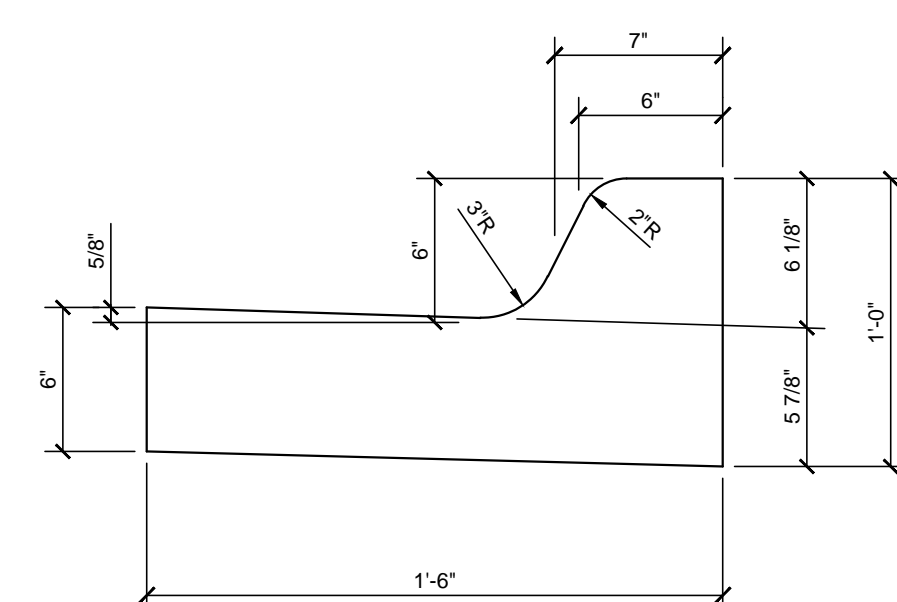
ELEVATION



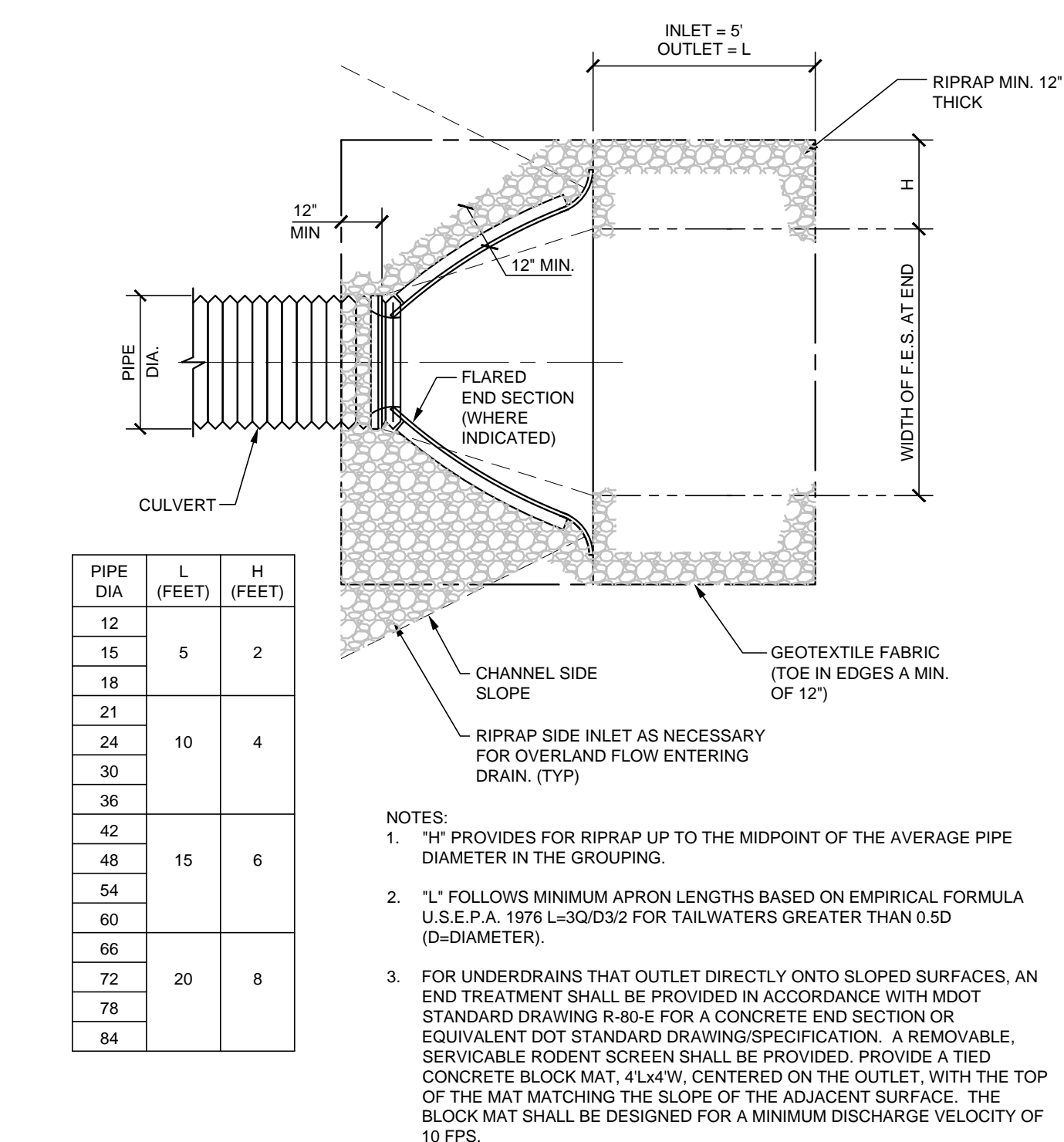
D5 BIKE RACK DETAIL
NTS



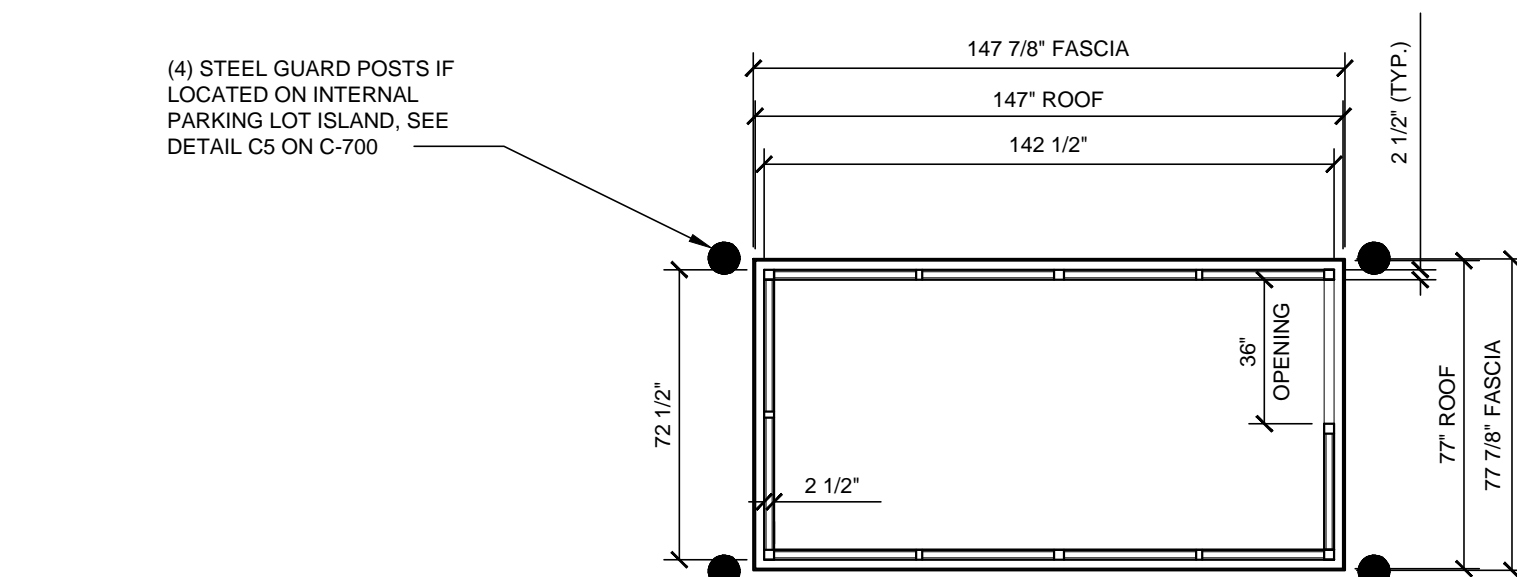
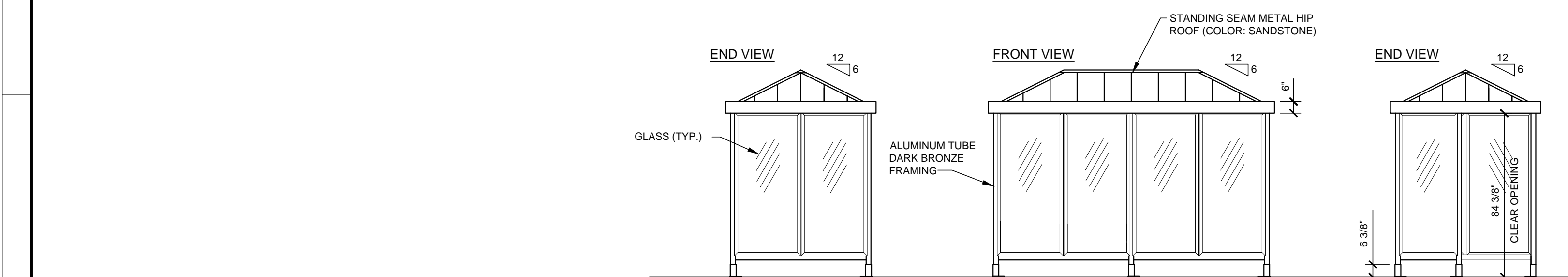
INSTALLATION PLAN



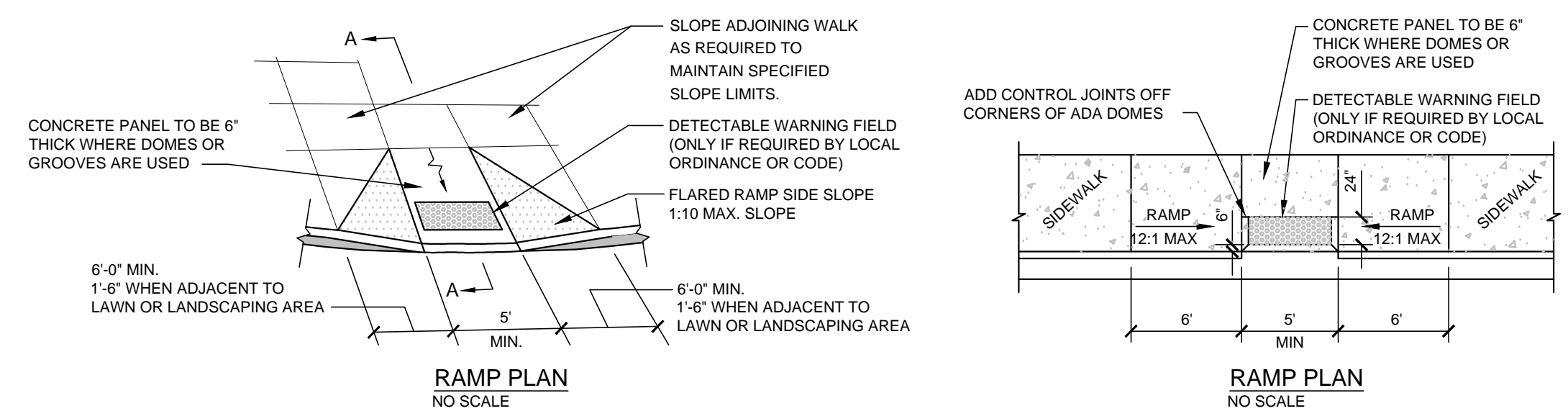
B4 STRAIGHT CURE
NTS



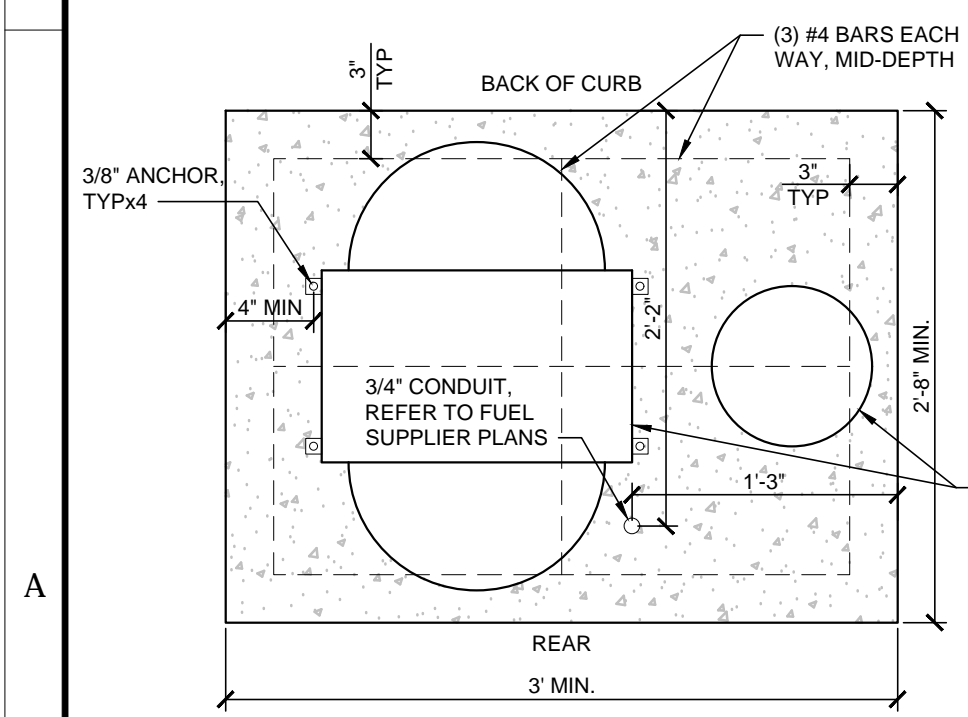
B5 RIPRAP END TREATMENT DETAIL



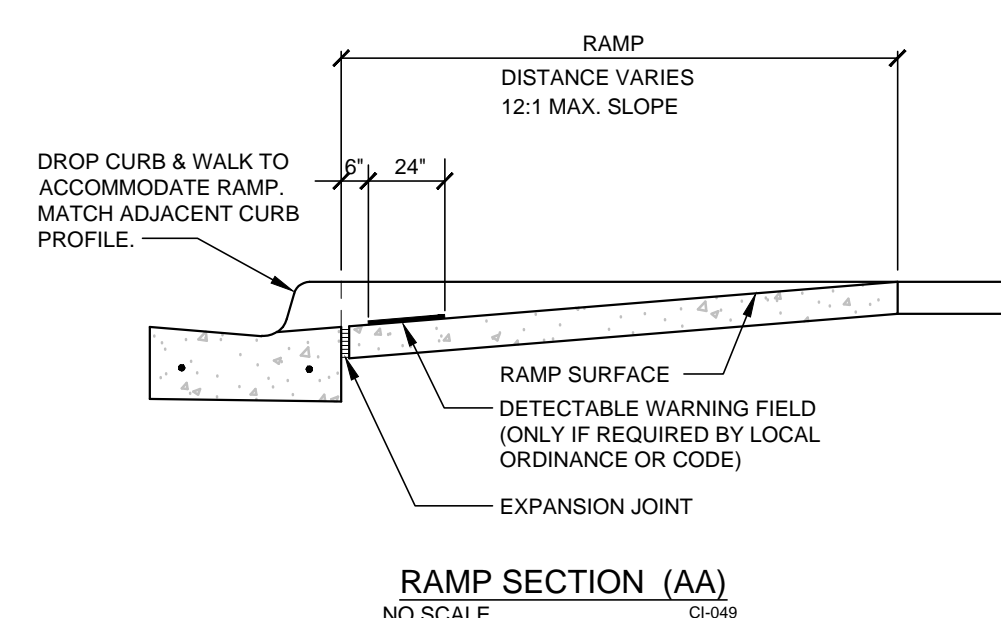
B2 EXTERIOR SHELTER



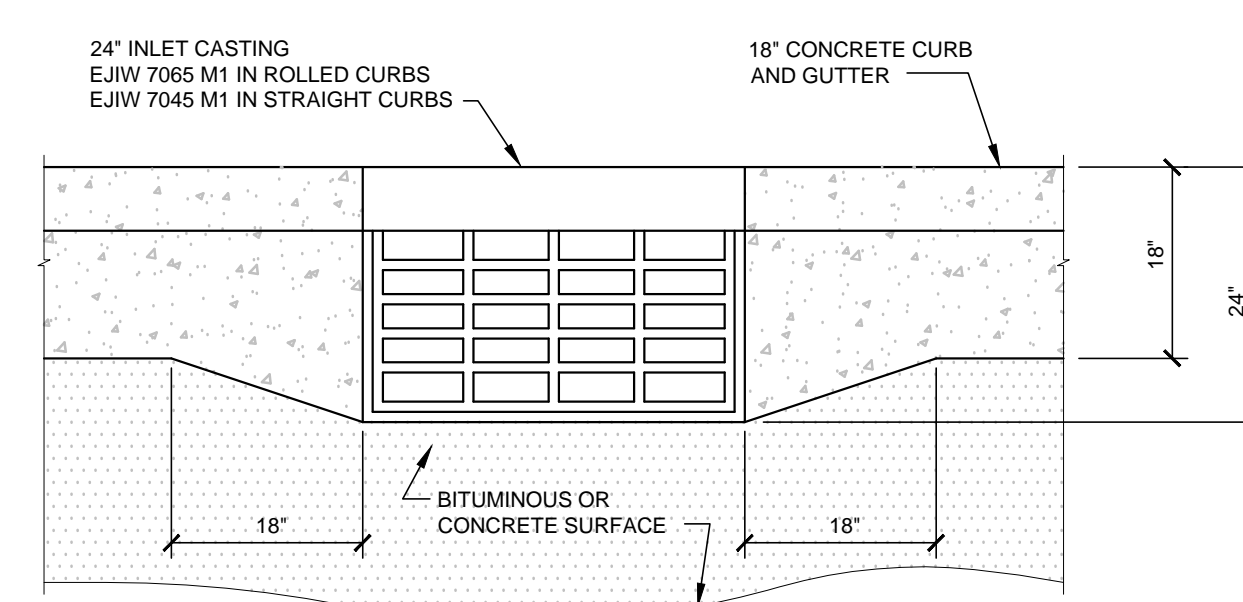
DETECTABLE GROOVE DETAIL



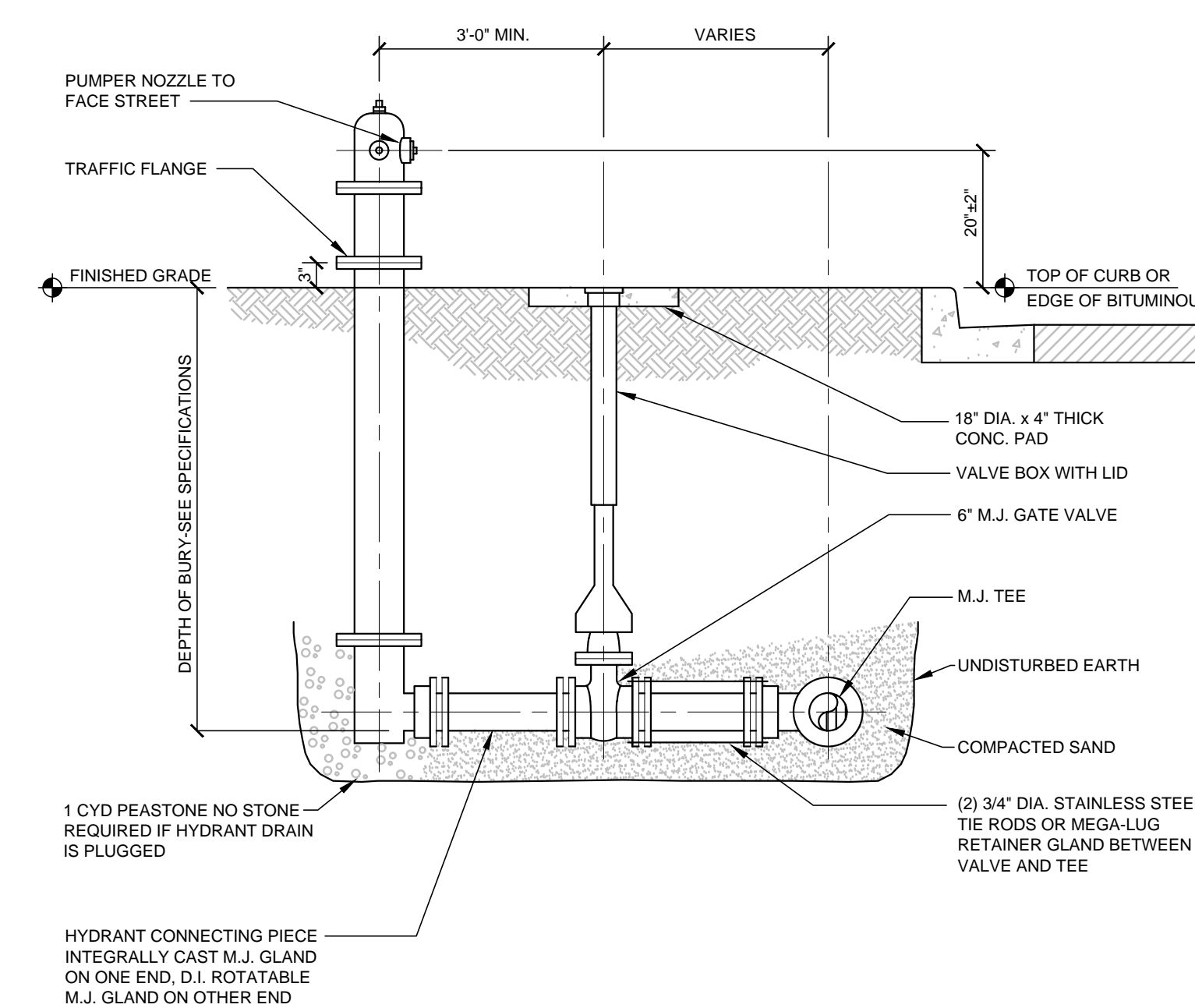
A1 AIR/VAC PAD DETAIL
NTS



A2 SIDEWALK RAMP DETAILS



A4 CURB TRANSITION DETAIL
NTS



A5 HYDRANT ASSEMBLY DETAIL
NTS

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

STANDARD DETAILS 3

ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
PROJECT MANAGER	DESIGNER
KW	JC

JOB NO.

C-702

Diagram illustrating the construction of a concrete pad with reinforcement and aggregate. The pad is shown with a width of 6" MIN and a length of 6" MIN. The reinforcement consists of #4 BAR @ 12 O.C. EACH WAY. The pad is supported by a COMPACTED SUBGRADE. The aggregate is 4" COARSE AGGREGATE, AASHTO#5 or EQUIVALENT DOT SPECIFICATION. The pad is shown with a WEED FABRI and AGGR. layer on top.

STORE #FTB

[illegible]

MEIJER STORE #FTB
MCKEE ROAD & FITCHRONA ROAD
CITY OF FITCHBURG, WI 53719

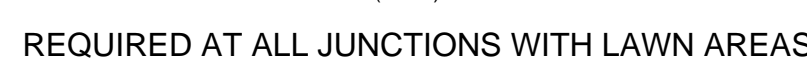
STANDARD DETAILS 4

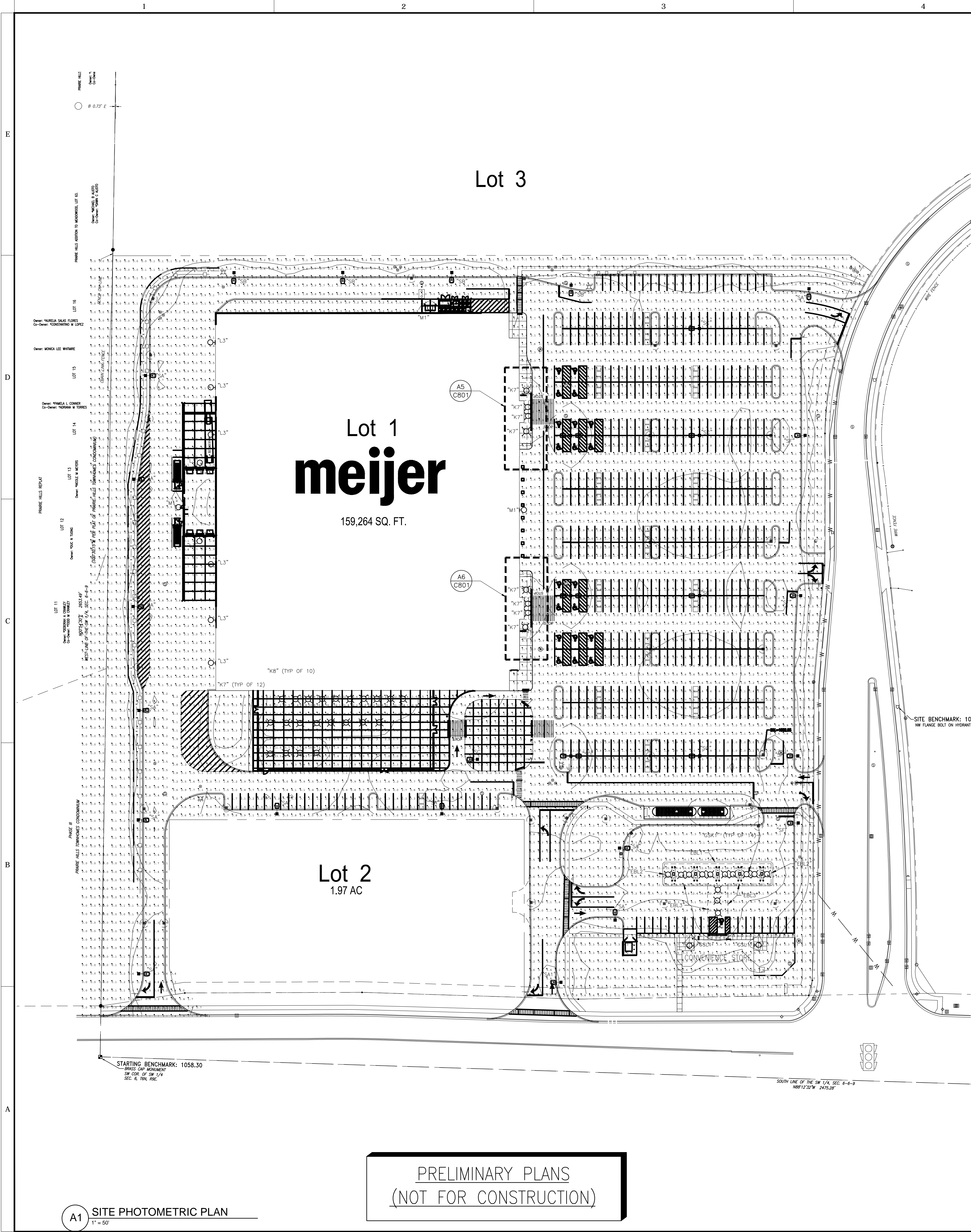
ISSUED FOR:	
PERMIT	-
BID	-
CONSTRUCTION	-
PROJECT MANAGER	DESIGNER
KW	JC

JOB NO.

C-703

10010 6000100





PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)

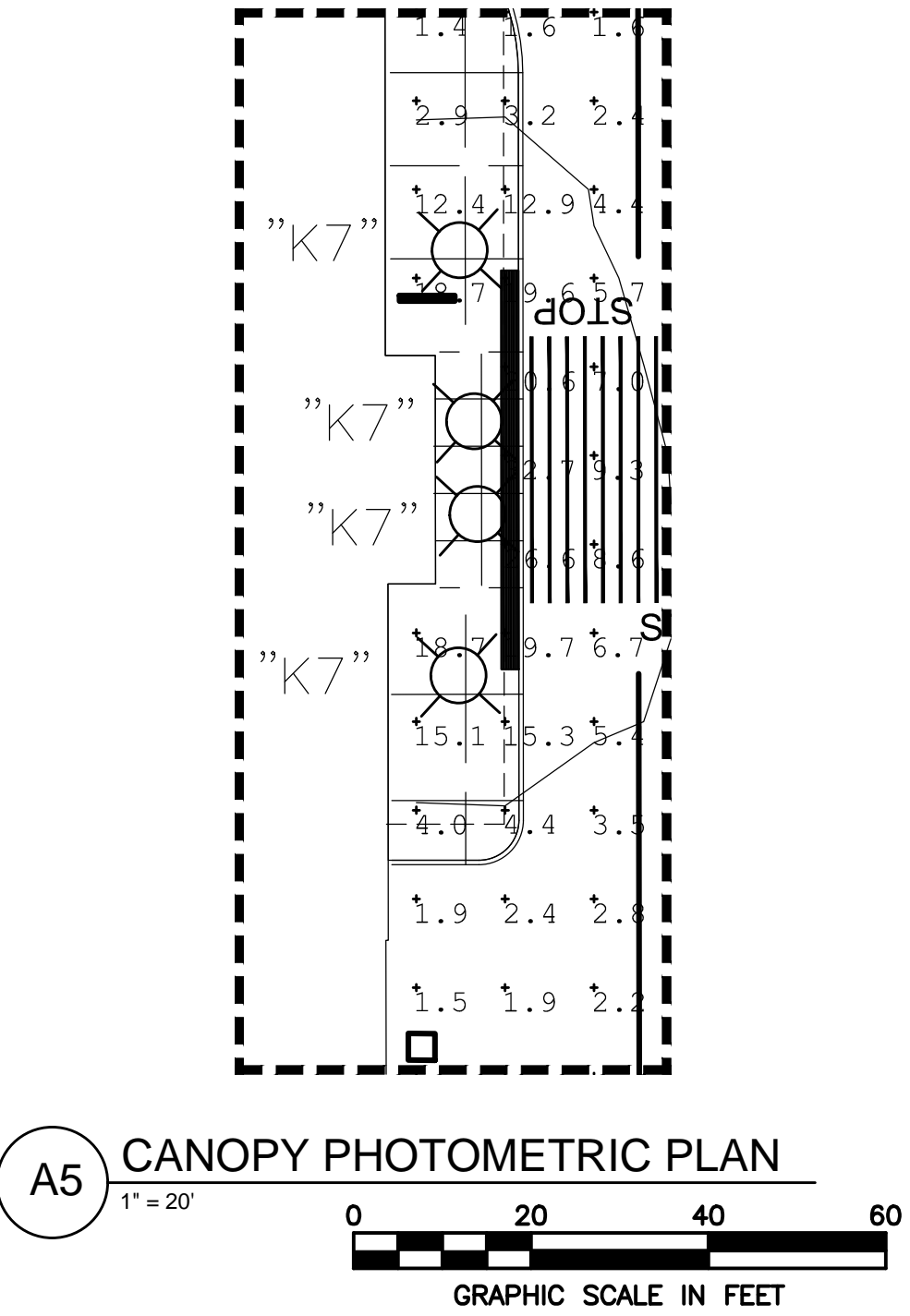
A1 SITE PHOTOMETRIC PLAN
1" = 50'

Luminaire Schedule			
Label	Qty	Description	
SA	11	Site light arm mounted, type 3 backlight control, 32,000 lumen LED, 30' pole	32040 0.810
SA1	1	Site light arm mounted, type 3, 43,000 lumen LED, 30' pole	43313 0.810
SB	4	Site light arm mounted, type 4 backlight control, 34,000 lumen LED, 30' pole	29285 0.810
SC	5	Site light arm mounted, type 5, 48,000 lumen LED, 30' pole	48061 0.810
SD	3	Site light double arm mounted, type 3, 43,000 lumen LED, 30' pole	43313 0.810
SF	4	Site light arm mounted, type 2 backlight control, 34,000 lumen LED, 30' pole	34414 0.810
K7	20	Canopy surface mounted, 8,000 lumen LED	8821 0.970
K8	10	Canopy surface mounted, 13,000 lumen LED	13636 0.970
L3	8	Wall mounted, 4,100 lumen LED	4031 0.980
M1	3	Wall mounted, 2,000 lumen LED	1998 0.970
GSK1	14	Canopy surface mounted, 13,000 lumen LED	13636 0.970
GSL1	2	Wall mounted, 4,100 lumen LED	4031 0.980
EBL1	1	Eyebrow light 1	N.A. 1.000
EBL2	2	Eyebrow light 2	N.A. 1.000
EBL3	4	Eyebrow light 3	N.A. 1.000

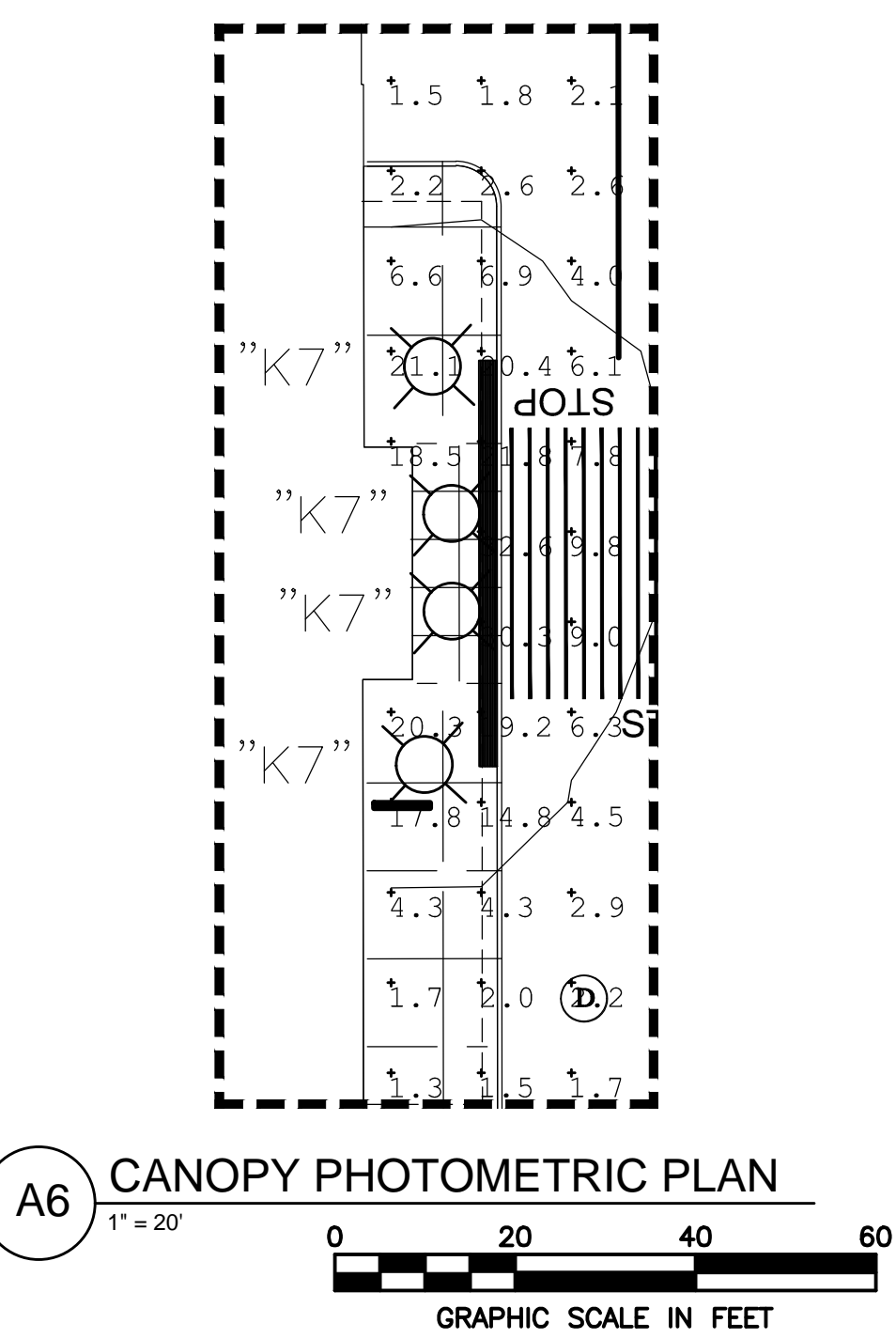
E5 LUMINAIRE SCHEDULE
NTS

Statistical Area Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
Driveway - Back	1.86	5.7	0.1	19.50	57.00
Driveway - Front Center	1.91	6.9	0.5	3.82	13.80
Driveway - Front Left	1.56	5.4	0.1	15.60	54.00
Driveway - North	2.02	6.6	0.1	20.20	66.00
Gas Station	4.36	38.0	0.1	43.60	380.00
Parking - Left Side	4.67	32.6	0.3	18.57	108.67
Parking - Main	1.87	12.9	0.1	18.70	129.00
Storefront - Horizontal	3.77	32.7	0.1	37.70	327.00

D5 STATISTICAL AREA SUMMARY
NTS



A5 CANOPY PHOTOMETRIC PLAN
1" = 20'



A6 CANOPY PHOTOMETRIC PLAN
1" = 20'

GreenbergFarrow

21 S. Evergreen Ave., Suite 200
Arlington Heights, Illinois 60005
t: 847 788 9200 f: 847 788 9536

meijer

STORE #FTB

MEIJER STORE #FTB
MCKEE ROAD & FITCHBURG ROAD
CITY OF FITCHBURG, WI 53719

PHOTOMETRIC PLAN

ISSUED FOR:
PERMIT
BID
CONSTRUCTION

PROJECT MANAGER
DESIGNER

JOB NO.
-

C-801

JOB NO. 20200104

LEGAL DESCRIPTION

Part of the Southwest 1/4 of Section 6, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, more particularly described as follows: Beginning at a point on the South line of Section 6, North 89°02' West, 287.0 feet from the South quarter corner, thence North 07°07' West 888.6 feet to an iron stake; thence North 88°27' West 33.8 feet to an iron stake; thence North 0°42' West 438.9 feet to an old fence post; thence North 88°52' West 990.0 feet to an iron stake; thence South 0°06' West 108.9 feet to an old fence post; thence North 89°04' West 1150.1 feet to an old fence post on the West line of said Section 6; thence South along said West line 1320 feet to the Southwest corner of said Section; thence South 89°02' East along said South line 2186.4 feet to the point of beginning. EXCEPTED THEREFROM the following lands:

- 1.) Lot One (1) Certified Survey Map No. 4733, recorded in the office of the Register of Deeds for Dane County, Wisconsin, in Volume 21 of Certified Survey Maps, pages 42-44 as Document No. 1894905, in the City of Fitchburg, Dane County, Wisconsin.
- 2.) Those lands conveyed by Wingra Stone Company to Albert Blaser and Russell Kammer contained in Warranty Deed recorded in Vol. 706 of Deeds, Page 278 as Document No. 993781.
- 3.) Those lands conveyed by Wingra Stone Company to Albert Blaser and Russell Kammer contained in Warranty Deed recorded in Vol. 12514 of Records, Page 57 as Document No. 2127681.
- 4.) Those lands conveyed by Wingra Stone Company a/k/a The Wingra Stone Company to the City of Fitchburg contained in Warranty Deed recorded in Vol. 26019 of Records, Page 12 as Document No. 2558690.
- 5.) Those lands conveyed by Wingra Stone Company to the City of Fitchburg contained in Quit Claim Deed recorded as Document No. 4249458.
- 6.) Those lands conveyed by Wingra Stone Company to the City of Fitchburg contained in Quit Claim Deed recorded as Document No. 4249457.
- 7.) Those lands acquired by the State of Wisconsin, Department of Transportation pursuant to the Award of Damages recorded as Document No. 5223569.

TITLE COMMITMENT

This survey was prepared based on Knight Barry Title Group Commitment No. 1086316, effective date of December 31, 2019 and Last Revised January 7, 2020 which lists the following easements and/or restrictions from schedule B-1:

- 1, 6, 7 & 8 visible evidence shown, if any.
- 2, 3, 4, 5, 100, 101, 102, 103, 300, 400, 500 & 501 not survey related.
200. Public or private rights, if any, in such portion of the Land as may be presently used, laid out, or dedicated in any manner whatsoever, for street, highway and/or alley purposes. *Affects property by location, shown.*
201. Easement granted to Wisconsin Power and Light Company and other matters contained in the instrument recorded April 25, 1927 in Vol. 76 of Miscellaneous, Page 145 as Document No. 473751. *Affects property by location, general in nature. (There are no poles located on the proposed Meijer Parcel along the North row line of County Trunk Highway PD (McKee Road)).*
- Partial Release of Easement recorded August 31, 1993 in Vol. 24292 of Records, Page 48 as Document No. 2511088. *Released any portion of easement that fall within the scope of Highway Project (I). 5849.00-71.*
202. Rights and other matters contained in the instrument recorded October 31, 1956 in Vol. 297 of Miscellaneous, Page 298 as Document No. 928497. *Does not affect property by location, shown.*
203. Easement granted to Wisconsin Power and Light Company and other matters contained in the instrument recorded November 19, 1956 in Vol. 298 of Miscellaneous, Page 60 as Document No. 929334. *Affects SE 1/4 of SW 1/4, Section 6, location of poles and anchors cannot be determined from record document. (There are no poles located on the proposed Meijer Parcel along the North row line of County Trunk Highway PD (McKee Road)).*
- Partial Release of Easement recorded August 31, 1993 in Vol. 24292 of Records, Page 48 as Document No. 2511088. *Partial release of the easement is not described on the provided document.*
204. Right of Way and other matters contained in the Warranty Deed recorded December 16, 1968 in Vol. 75 of Records, Page 515 as Document No. 1230593. *Does not affect property by location, shown.*
205. Notice Affecting Real Estate and other matters contained in the instrument recorded September 21, 1978 in Vol. 996 of Records, Page 8 as Document No. 1592785. *Affects property by location, general in nature.*
206. Notice Affecting Real Estate and other matters contained in the instrument recorded September 25, 1978 in Vol. 996 of Records, Page 652 as Document No. 1593197. *Affects property by location, general in nature.*
207. Storm Sewer and Storm Water Drainage Facility Easement granted to the Town of Fitchburg and other matters contained in the instrument recorded March 22, 1983 in Vol. 4316 of Records, Page 39 as Document No. 1772462. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
208. Reservation of a perpetual easement and other matters contained in the Warranty Deed recorded December 18, 1985 in Vol. 7605 of Records, Page 22 as Document No. 1914163. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
209. Perpetual easement for ingress and egress and other matters contained in the Warranty Deed recorded February 20, 1989 in Vol. 12514 of Records, Page 57 as Document No. 2127681. *Does not affect property by location, shown.*

TITLE COMMITMENT CONTINUED

210. Terms and conditions of the right of first refusal as contained in the Warranty Deed recorded February 20, 1989 in Vol. 12514 of Records, Page 57 as Document No. 2127681. *Does not affect property by location, shown.*
211. Permanent Storm Drainage Easement granted to the City of Fitchburg and other matters contained in the instrument recorded October 5, 1993 in Vol. 24761 of Records, Page 61 as Document No. 2523969. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
212. Easement Restricting Building Construction and other matters contained in the instrument recorded December 23, 1993 in Vol. 26019 of Records, Page 14 as Document No. 2558691. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
213. Revocable Occupancy Permit and other matters contained in the instrument recorded October 10, 2002 as Document No. 3563932. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
214. Revocable Occupancy Permit and other matters contained in the instrument recorded October 31, 2006 as Document No. 4249458. *Affects property by location, Earth berm shown.*
215. Revocable Occupancy Permit and other matters contained in the instrument recorded January 16, 2007 as Document No. 4271692. *Affects property by location, Earth berm shown.*
216. Permanent Highway Easement and other matters contained in the instrument recorded April 2, 2007 as Document No. 4294523. *Does not affect property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
217. Easements, restrictions and other matters shown on Transportation Project Plat No. 1206-07-25-4.06 recorded September 19, 2014 as Document No. 5099041. Modified by Amendment No. 1 recorded August 4, 2015 as Document No. 5173694. *Does not affect property by location, shown.*
218. Reservation of mineral rights by Wingra Stone Company a/k/a The Wingra Stone Company and other matters contained in the Warranty Deed recorded March 18, 2016 as Document No. 5221268. *Affects property by location, general in nature, blanket type.*
219. Quit Claim Deed (Non-Fee Land Interests) by Wisconsin Power and Light Company and other matters contained in the instrument recorded June 28, 2016 as Document No. 5246014. *Does not affect property by location. The property affected by exceptions is the Fitchrona Road and does not affect the proposed Meijer Parcel.*
220. Quit Claim Deed (Non-Fee Land Interests) by the City of Fitchburg and other matters contained in the instrument recorded June 28, 2016 as Document No. 5246017. *Does not affect property by location. The property affected by exceptions is the Fitchrona Road and does not affect the proposed Meijer Parcel.*
221. Revocable Occupancy Permit and other matters contained in the instrument recorded August 3, 2016 as Document No. 5256041. *Affects property by location, shown. The easement area does not affect the proposed Meijer Parcel.*
222. Public Water Main Easement granted to the City of Fitchburg and other matters contained in the instrument recorded March 21, 2018 as Document No. 5396618. *Affects property by location, shown.*

PARKING SPACES

There are no parking spaces marked on this site.

FLOOD NOTE

According to the Flood Insurance rate map of the County of Dane, Community Panel No. 55025004136, effective date of January 2, 2009, this site falls in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

MUNICIPAL ZONING

The zoning information noted below is taken from the municipal code ordinance. It does not reflect all zoning restrictions that may apply. It is not intended to be used in lieu of a comprehensive zoning report as stated in ALTA Table A item 6(a) nor to be relied on for site development purposes.

Municipal Code: Sec. 22.343.
Site is zoned: R-D (Rural Development)
Front setback: 40 feet
Side setback: 10 feet
Side Street setback: 30 feet
Rear setback: 50 feet
Maximum building height: 45 feet

LAND AREA

The Land Area of the subject property is 2,442,464 square feet or 56.0712 acres.

NOTE

No Gas or Electric plans were provided by the City at the time of survey.
Sanitary lateral are shown per plan.

ALTA/NSPS
LAND TITLE SURVEY

CLIENT

Greenberg Farrow

SITE ADDRESS

Vacant Land at 2975 Kapec Road, Fitchburg, Dane County, Wisconsin.

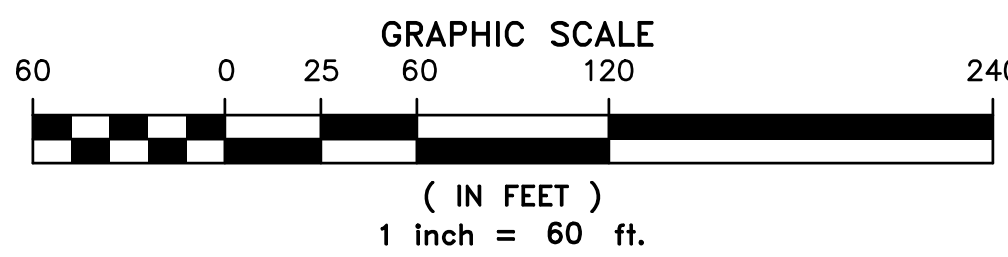
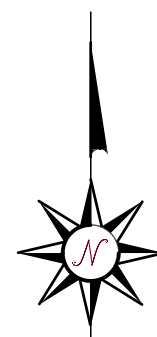
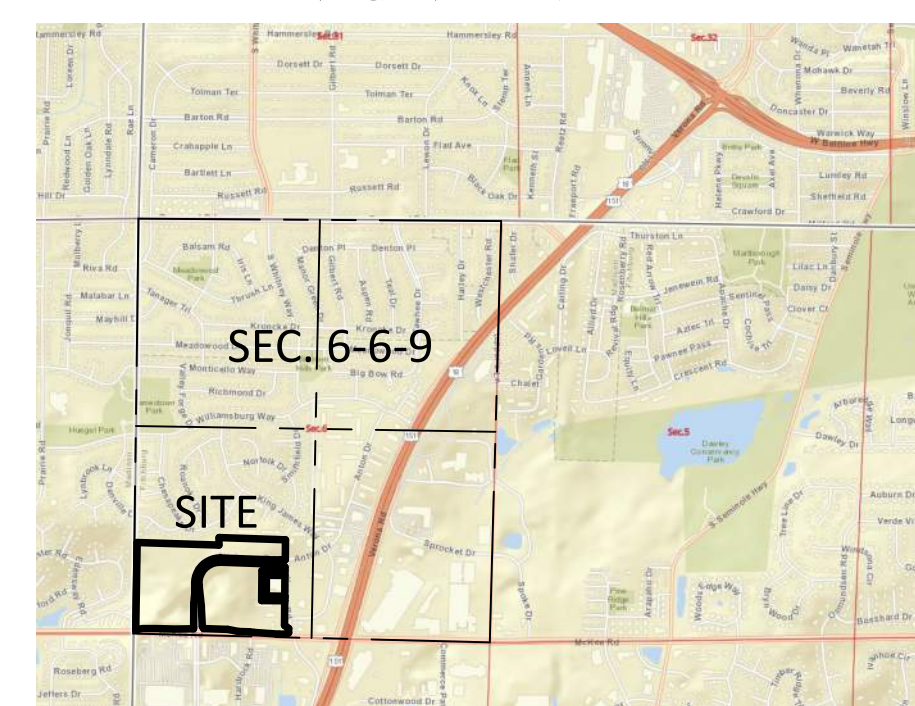
BASIS OF BEARINGS

Bearings are referenced to the Dane County Coordinate System in which South line of the SW 1/4 bears N88°12'32" W.

TABLE "A" ITEMS

11. Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Dugger Hotline, the One-call Utility Marking System (Wisconsin Statute 182.075), Ticket Number 20201005331 & 202001005334.
12. There is no visible evidence of earth moving, building construction or building additions within recent months.
13. There are no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction. Observable evidence of recent street or sidewalk construction or repairs if any, is shown.
14. There is no evidence on site of delineated wetlands areas.
15. There were no off-site easements or servitudes benefiting the survey property disclosed in furnished Title Commitment at the time of survey.

VICINITY MAP



ENCROACHMENT TABLE

A	BUILDING ENCROACHES OVER PROPERTY LINE
B	FENCE ENCROACHES ON PROPERTY LINE
C	PLAY SET ENCROACHES ON PROPERTY LINE
D	BRICK STEPS ENCROACHES ON PROPERTY LINE

MEIJER PARCEL ENCROACHMENT TABLE

E	FENCE ENCROACHES ON PROPERTY LINE
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LEGAL DESCRIPTION MEIJER PARCEL

Part of the Southwest 1/4 of Section 6, Township 6 North, Range 9 East, in the City of Fitchburg, Dane County, Wisconsin, more particularly described as follows:
Beginning at a point on the Southwest corner of the Southwest 1/4 of said Section;
thence North 00°54'30" East along the West line of said Southwest 1/4 60.00 feet to a point on the North line of McKee Road "C.T.H. 'PD'" and the point of beginning of lands described hereinafter; thence continue North 00°54'30" East along said West line 884.95 feet to a point; thence
North 89°56'57" East 858.80 feet to a point; thence South 52°52'24" East 32.47 feet to a point on the West line of Fitchrona Road; thence 200.90 feet along an arc of a curve to the left having a radius of 363.00 feet and a chord bearing South 16°06'30" West 198.35 feet to a point; thence South 00°15'07" West along said West line 155.82 feet to a point; thence South 05°14'28" West along said West line 138.07 feet to a point; thence South 00°15'12" West along said West line 352.02 feet to a point; thence South 13°52'50" West along said West line 18.08 feet to a point on the North line of McKee Road "C.T.H. 'PD'"; thence South 89°03'48" West along said North line 271.64 feet to a point; thence North 88°12'12" West along said North line 265.12 feet to a point; thence South 89°47'50" West along said North line 209.06 feet to a point; thence South 81°09'39" West along said North line 100.03 feet to the point of beginning.
Said Land Contains 737,258 square feet or 16.9250 acres.

TO: Wingra Real Estate, LLC, Meijer Stores Limited Partnership
First American Title Insurance Company
Knight Barry Title Services LLC

This is to certify that this map and plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9, 11, 13, 14, 16, 17, 18, 19, 20, 21 and 22 of Table A thereof. The field work was completed on March 19, 2020.

Date of Map: March 20, 2020.



Donald C. Chaput
Professional Land Surveyor
Registration Number 5-1316

KING-JAMES WAY

66' PUBLIC ROW

66' PUBLIC ROW

66' PUBLIC ROW

66' PUBLIC ROW

66' PUBLIC ROW

66' PUBLIC ROW

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TOPOGRAPHIC MAP

CLIENT
Greenberg Farrow

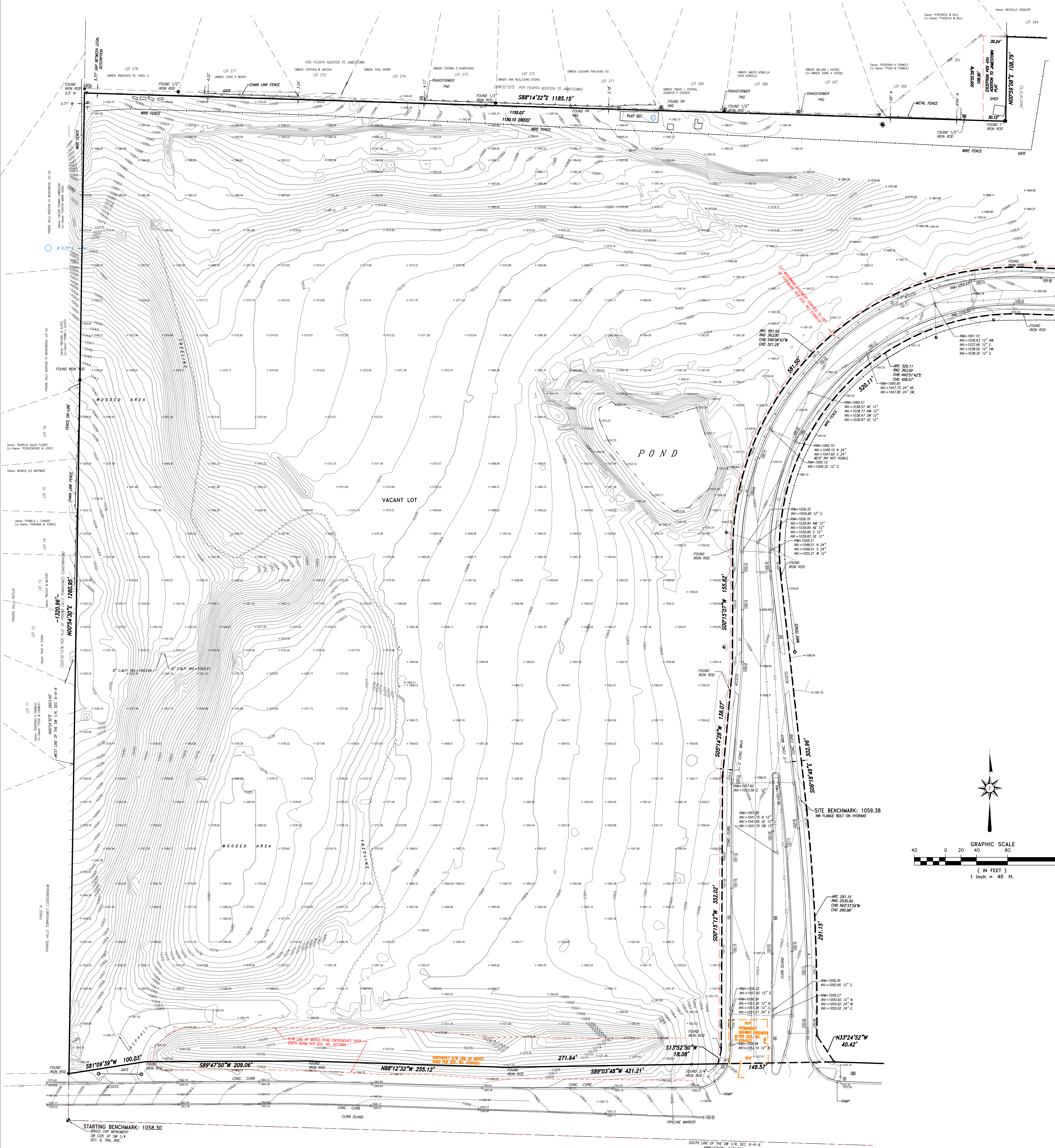
SITE ADDRESS
Vacant Land at 2975 Kapec Road, Fitchburg, Dane County, Wisconsin.

BASIS OF BEARINGS
Bearings are referenced to the Dane County Coordinate System in which South line of the SW 1/4 bears N88°12'32"W.

VERTICAL DATUM
Vertical datum is based on North American Vertical Datum of 1988.

NOTE
No Gas or Electric plans were provided by the City at the time of survey.
Utility lines are shown from visible surface evidence, municipal plans and from plans and markings provided by Diggers Hotline, the One-Call Utility Marking System (Wisconsin Statute 182.0175), Ticket Number 20201005333 & 20201005334.

CHAPUT LAND SURVEYS



- LEGEND
- INDICATES FOUND 1" IRON PIPE
 - INDICATES SET 1" IRON PIPE
 - ✚ INDICATES FOUND CHISELED CROSS
 - SANITARY MANHOLE
 - SANITARY CLEANOUT OR VENT
 - M.I.S. MANHOLE
 - UNKNOWN MANHOLE
 - STORM MANHOLE
 - INLET (ROUND)
 - INLET (SQUARE)
 - CURB INLET
 - STORM SEWER END SECTION
 - GAS VALVE
 - GAS METER
 - WATER VALVE
 - HYDRANT
 - WATER MANHOLE
 - WATER SERVICE CURB STOP
 - WELL HEAD
 - POST INDICATOR VALVE
 - LIGHT POLE
 - SPOT/YARD LIGHT
 - GUY WIRE
 - ELECTRIC MANHOLE
 - ELECTRIC PEDESTAL
 - ELECTRIC METER
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - FIBER OPTIC PEDESTAL/SIGN
 - TRAFFIC LIGHT
 - COMMUNICATION MANHOLE
 - BOLLARD
 - SOIL BORING/MONITORING WELL
 - WATER SURFACE
 - WETLANDS FLAG
 - MARSH
 - FLAGPOLE
 - MARKED TELEPHONE
 - MARKED FIBER OPTIC
 - MARKED ELECTRIC SERVICE
 - BOARD SERVICE
 - MAIL BOX
 - RAILROAD CROSSING SIGNAL
 - HANDICAP SPACE
 - CONIFEROUS TREE
 - DECIDUOUS TREE
 - SANITARY LATERAL
 - ELECTRIC OUTLET
 - STORM SEWER
 - MARKED GAS MAIN
 - MARKED ELECTRIC
 - OVERHEAD WIRES
 - MARKED TELEPHONE
 - MARKED FIBER OPTIC
 - BOARD SERVICE
 - MAIL BOX
 - RAILROAD CROSSING SIGNAL
 - WIRE FENCE

